



DEVELOPMENT SERVICES DEPARTMENT  
ENVIRONMENTAL COORDINATOR  
450 110<sup>th</sup> Ave NE  
BELLEVUE, WA 98009-9012

### DETERMINATION OF NON-SIGNIFICANCE

**PROPONENT:** Shintex Global Investment Holdings, LLC.

**LOCATION OF PROPOSAL:** 10232 NE 10<sup>th</sup> Street

**DESCRIPTION OF PROPOSAL:** Master Development Plan approval for a phased, multiple-building development within a 51,162 square-foot (SF) project limit. Phase 1 includes an existing 6-story apartment building (Mira Phase 1) and Phase 2 (Mira Phase 2) will include a proposed 20-story residential building with 150 units, 5,739 SF of exempt Active Uses (retail and restaurant) and underground parking for 210 vehicles.

Design Review approval for the Mira Phase 2 building as described above.

**FILE NUMBERS:** 17-126596-LP, 18-124370-LD **PLANNER:** Mark C. Brennan

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- ☐ There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on \_\_\_\_\_.
- ☒ This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **7/11/2019**.
- ☐ This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on \_\_\_\_\_. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on \_\_\_\_\_.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

  
\_\_\_\_\_  
Environmental Coordinator

6/27/2019  
\_\_\_\_\_  
Date

**OTHERS TO RECEIVE THIS DOCUMENT:**

- ☒ State Department of Fish and Wildlife / [Stewart.Reinbold@dfw.gov](mailto:Stewart.Reinbold@dfw.gov); [Christa.Heller@dfw.wa.gov](mailto:Christa.Heller@dfw.wa.gov);
- ☒ State Department of Ecology, Shoreline Planner N.W. Region / [Jobu461@ecy.wa.gov](mailto:Jobu461@ecy.wa.gov); [sepaunit@ecy.wa.gov](mailto:sepaunit@ecy.wa.gov)
- ☒ Army Corps of Engineers [Susan.M.Powell@nws02.usace.army.mil](mailto:Susan.M.Powell@nws02.usace.army.mil)
- ☒ Attorney General [ecyolyef@atg.wa.gov](mailto:ecyolyef@atg.wa.gov)
- ☒ Muckleshoot Indian Tribe [Karen.Walter@muckleshoot.nsn.us](mailto:Karen.Walter@muckleshoot.nsn.us); [Fisheries.fileroom@muckleshoot.nsn.us](mailto:Fisheries.fileroom@muckleshoot.nsn.us)



# City of Bellevue Development Services Department Land Use Staff Report

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Proposal Name: Mira 2-Residential

Proposal Address: 10232 NE 10<sup>th</sup> Street


Proposal Description: Master Development Plan approval for a phased, multiple-building development within a 51,162 square-foot (SF) project limit. Phase 1 includes an existing 6-story apartment building (Mira Phase 1) and Phase 2 (Mira Phase 2) will include a proposed 20-story residential building with 150 units, 5,739 SF of exempt Active Uses (retail and restaurant) and underground parking for 202 vehicles. Design Review approval for the Mira Phase 2 building as described above.


File Numbers: 17-126596-LP  
18-124370-LD

Applicant: Shintex Global Investment Holdings, LLC.

Decisions Included: Process 2, Combined Master Development Plan, Design Review and SEPA

Planner: Mark C. Brennan, Associate Planner

State Environmental Policy Act Threshold Determination: **Determination of Non-Significance**  
  
Elizabeth Stead, Environmental Coordinator  
Development Services Department

Director's Decision: **Approval with Conditions**  
Michael A. Brennan, Director  
Development Services Department  
By:   
Elizabeth Stead, Land Use Director

|                             | <u>Master Development Plan</u> | <u>Design Review</u> |
|-----------------------------|--------------------------------|----------------------|
| Application Date:           | October 26, 2017               | September 10, 2018   |
| Notice of Application Date: | December 7, 2017               | October 18, 2018     |
| Notice of Decision Date:    | June 27, 2019                  | June 27, 2019        |
| Appeal Deadline:            | July 11, 2019                  | July 11, 2019        |

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For information on how to appeal a proposal, visit the Development Services Center at City Hall or call (425) 452-6864. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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## I. REQUEST/PROPOSAL DESCRIPTION and PROJECT PHASING

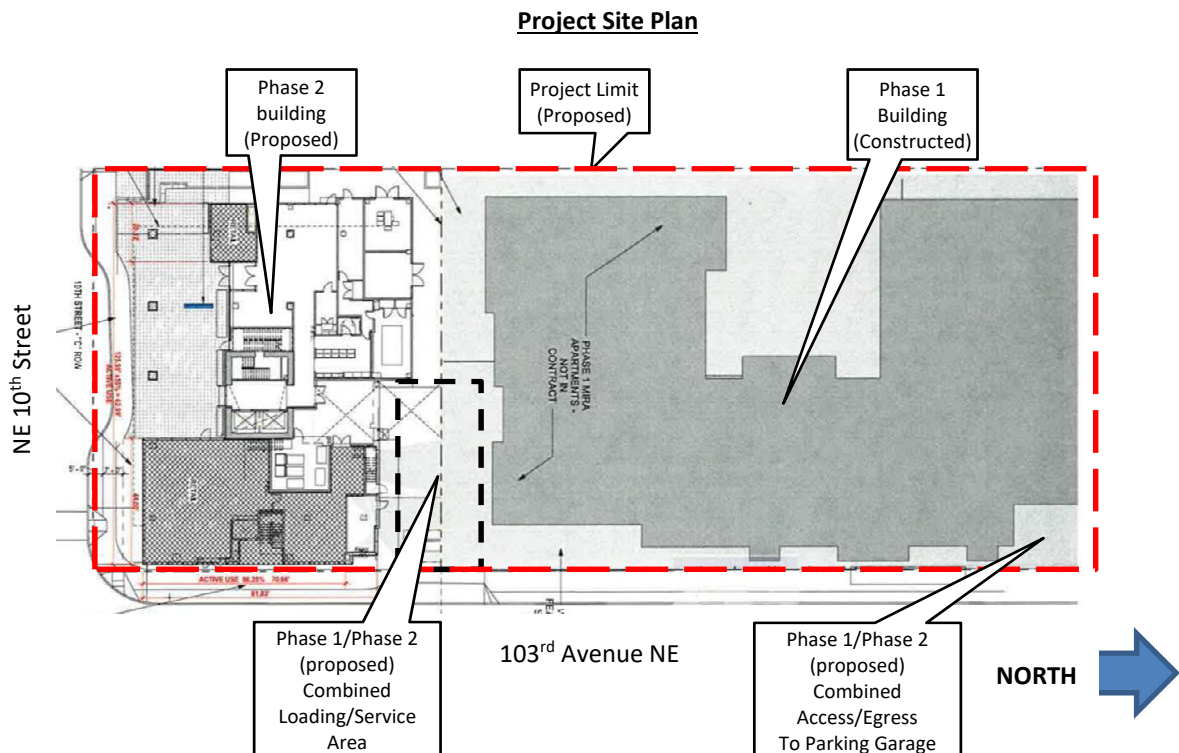
### A. Request

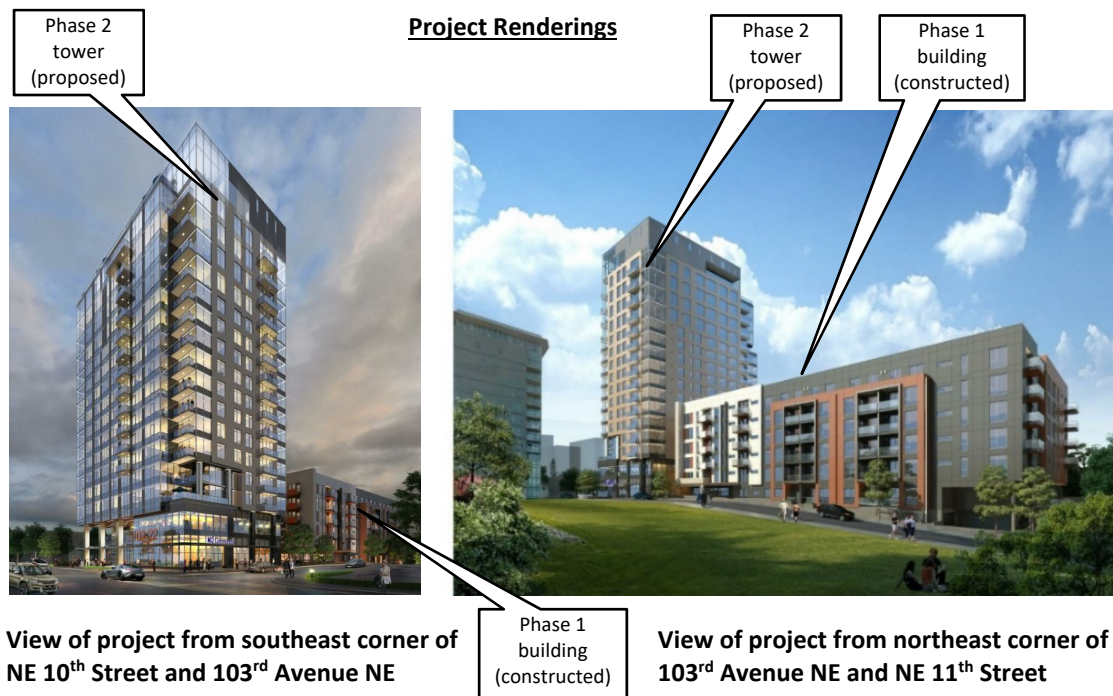
The applicant requests Threshold Determination under the State Environmental Policy Act (SEPA), Master Development Plan (MDP) approval and Administrative Design Review approval to do the following:

1. **Master Development Plan (MDP)** approval to combine a 34,109 square-foot (SF) parcel (Phase 1) with a 17,053 SF parcel (Phase 2) into a single project limit with a total area of 51,162 SF. The applicant seeks to combine the previously approved Phase 1 parcel (project site) with the Phase 2 parcel (project site) into one project limit to utilize unused residential FAR from Phase 1 for the proposed Phase 2 building. The creation of a single project limit can be approved through the Master Development Plan (MDP) process. Phase 1 is a recently constructed 125,052 SF 6-story residential building with 162 units and underground parking for 170 vehicles. Phase 2 is a proposed 20-story residential building with 150 units, 5,739 SF of exempt Active Use (retail and restaurant) and underground parking for 202 vehicles.

The Phase 1 building Design Review (file #13-115778) was approved under the previous Downtown Code (the old Code), which was recently updated with Ordinance #6377 on October 26<sup>th</sup>, 2017 (the current Code) and under which this application for MDP approval, and Design Review approval for Phase 2 is being reviewed. To approve the proposed MDP, the existing site development of Phase 1 must be brought into compliance with the current Code. **Refer to Section III.C for description of how the Phase 1 site has been brought into compliance with the current Downtown Code.**

2. **Design Review approval** for the proposed Phase 2 project, which includes a 20-story multi-family residential tower with 150 residential units, approximately 2,668 square feet (SF) of ground level retail space, 3,071 SF of upper level retail space, a 3,216 SF open space (outdoor plaza) and underground parking for 202 vehicles.





## B. Site Design:

The project site lies to the northwest of the intersection of NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE. The Phase 1 site is located along 103<sup>rd</sup> Avenue NE to the immediate north of the Phase 2 site. The Phase 2 site engages the NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE intersection and has frontage along both rights-of-way. Pedestrian access to the Phase 1 building is located at its southeast corner, while vehicular access to the below-grade parking for both phases is located at the building's northeast corner. The existing 3-level garage will be expanded to the north to accommodate Phase 2 residents, visitors and customers to Phase 2 retail and restaurant uses. The existing exterior loading space for Phase 1 refuse/recycling pick-up will remain and will be expanded to the south to accommodate the refuse/recycling needs for Phase 2.

### 1. NE 10<sup>th</sup> Street:

The pedestrian entrance to the proposed Phase 2 tower will be located within the outdoor plaza located on the NE 10<sup>th</sup> Street frontage. The plaza will also provide pedestrians access to two ground level active use spaces.

The NE 10<sup>th</sup> Street streetscape will include a short-term load/unload area to facilitate package deliveries and passenger drop-off/pick-up functions for the Phase 2 building residents and visitors. The sidewalk width will vary but will, at a minimum, be 7-ft.-wide. A 5 ft-wide planting strip will be provided at both ends of this loading area. However, no new street trees are proposed, given the provision of the loading area and related Transportation street-frontage improvements including new light poles and a new cross walk for pedestrian access across NE 10<sup>th</sup> Street. The existing street tree on the site's southwest corner will be retained.

### 2. 103<sup>rd</sup> Avenue NE:

#### a. Phase 1:

In order to approve the proposed project limit through the MDP process, existing Phase 1 site development must be modified to comply with the current Downtown Code, including right-of-way standards in LUC 20.25A.170.B. The current Code designates 103<sup>rd</sup> Avenue NE as a "D – Neighborhood Street" right-of-way, which requires development to have "low to moderate

orientation to pedestrians and shall complement residential uses.” As discussed in part A.1 of this section, Phase 1 was approved in the old Code prior to the adoption of site development standards with the Code updates in 2017. The following Phase 1 site development conditions will be modified to comply with the current Code:

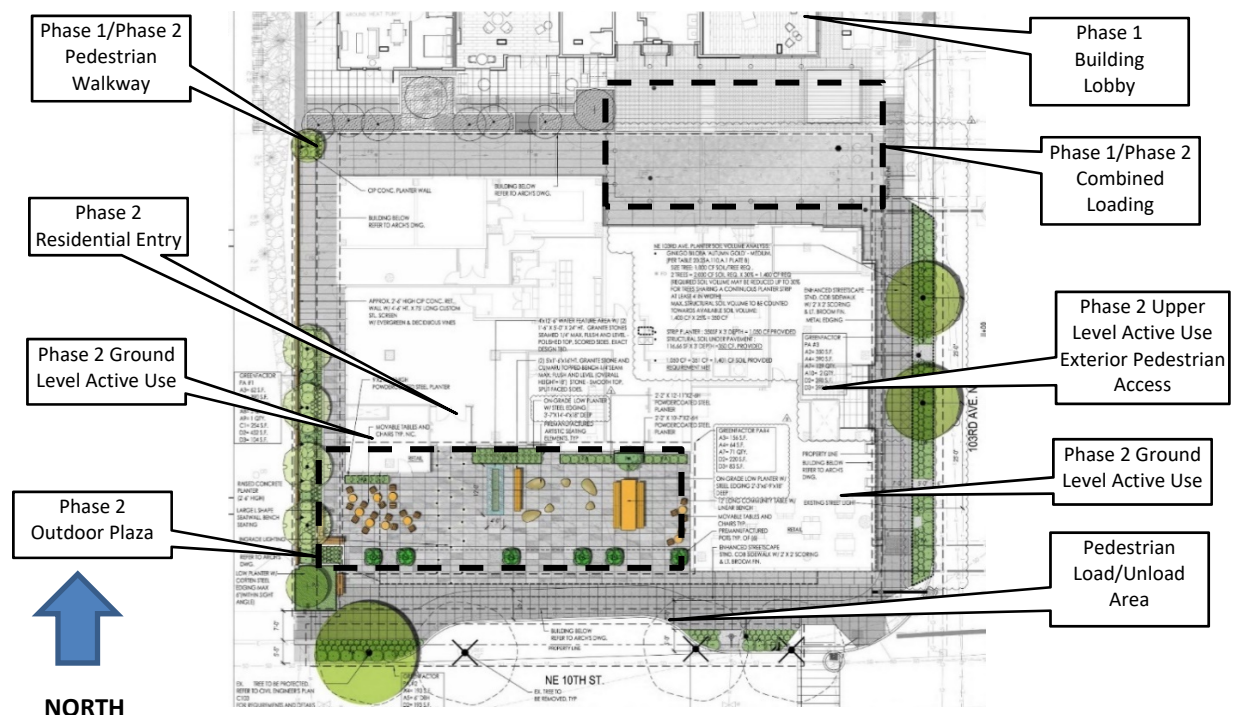
- Sidewalk/Planter Strip Dimensions - (LUC 20.25A.090.A). To comply with current Code dimensional standards for D-streets, which require a 7 ft-wide sidewalk and 5 ft-wide planting area, the width of the existing 8 ft-wide sidewalk will be reduced by 1 ft. to accommodate a 1 ft. increase to the width of the existing 4-ft-wide planting strip. Refer
- Weather protection - (LUC 20.25A.170.B.4.ii). To comply with current Code standards for D-streets, weather protection in the form of free-standing canopies will be provided.

b. Phase 2

A continuous 5 ft-wide planting strip with street trees, shrubs and groundcover will extend along 103rd Avenue NE to the Phase 2 service access to the north. The sidewalks along both streets will each be a minimum of 7 feet wide. Pedestrians will access the upper level active use space by an exterior stairway and elevator in the middle of the Phase 2 building’s frontage.

This area will also be used by residents moving into or out of both buildings. No loading in the rights-of-way of NE 10<sup>th</sup> Street or 103rd Avenue NE will be allowed. **Refer to Conditions of Approval regarding Provisions for Loading, Mechanical Equipment, Equipment Screening and Street Furniture and Final Landscape Plan for Outdoor Plaza in Section XI of this report.**

**Phase 2 Site Plan**



**C. Building Design**

**1. Phase 1:**

Phase 1 is a recently constructed 6-story residential building. Its design was approved under Design Review 13-115778-LD under the old Downtown Code. The building did not utilize the maximum allowable height or development density available to it at the time of its approval. The building is 70 feet high where a 90-foot tall building was allowed. The project was developed to an FAR of 3.37,

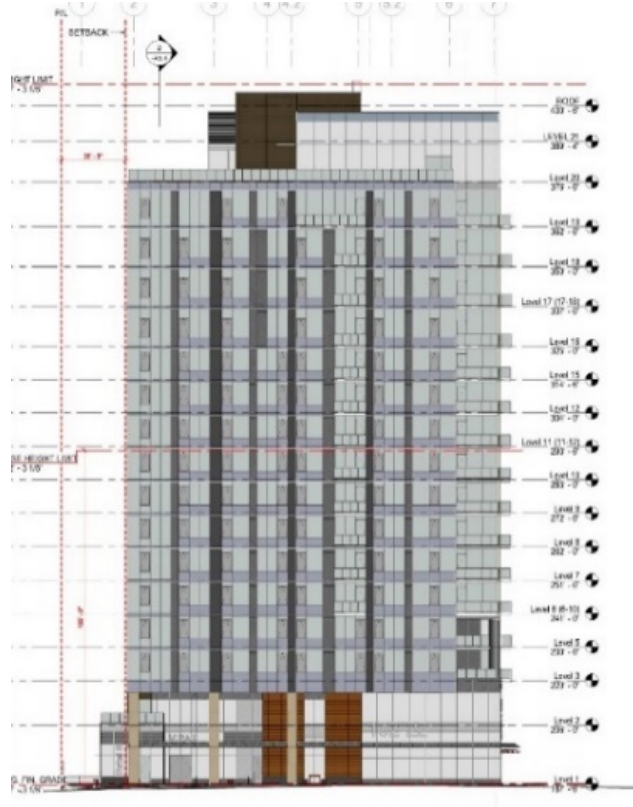
where a maximum FAR of 5 would have been allowed. The building's massing along is articulated with bays, overhangs and the use of a variety of colors and materials, and its rooftop terrace provides its residents with light, air and views to the west, north and east.

2. Phase 2:

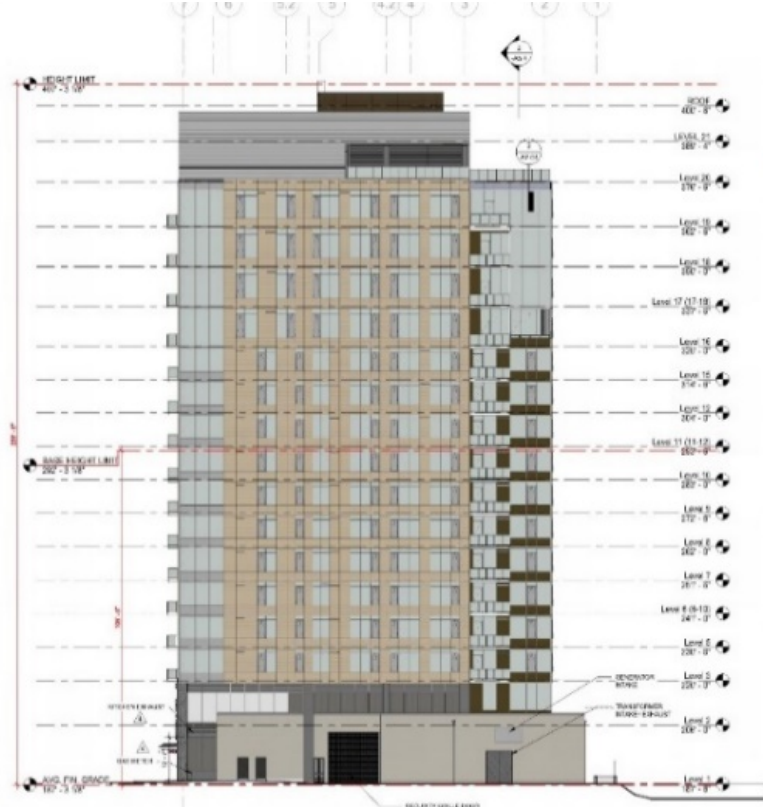
**Design Concept:** The proposed Phase 2 building is a 20-story tower comprised of a 2-story podium and 18 stories of residential units above. The building's massing will express its functional relationships, with retail and support spaces contained in a two-story podium and residential units comprising the tower above. The inclusion of the outdoor plaza at the site's southwest corner will enliven the pedestrian experience along NE 10<sup>th</sup> Street, as will the provision of active use spaces along the outdoor plaza and 103<sup>rd</sup> Avenue. The base of the building is scaled to respond to the pedestrian experience along the project's two street frontages, while the mass of the residential tower will be articulated with inset corners and residential balconies. The rooftop amenities space and exterior terrace will provide the residents of the building expansive views to the west, south and east. Mechanical and elevator support functions will be located at the north edge of the building and screened from view. **Refer to Condition of Approval regarding Exterior Building Lighting, Project Sign Design Package, Signage and Screening for Rooftop Mechanical Equipment in Section XI of this report.**

**Building Elevations**

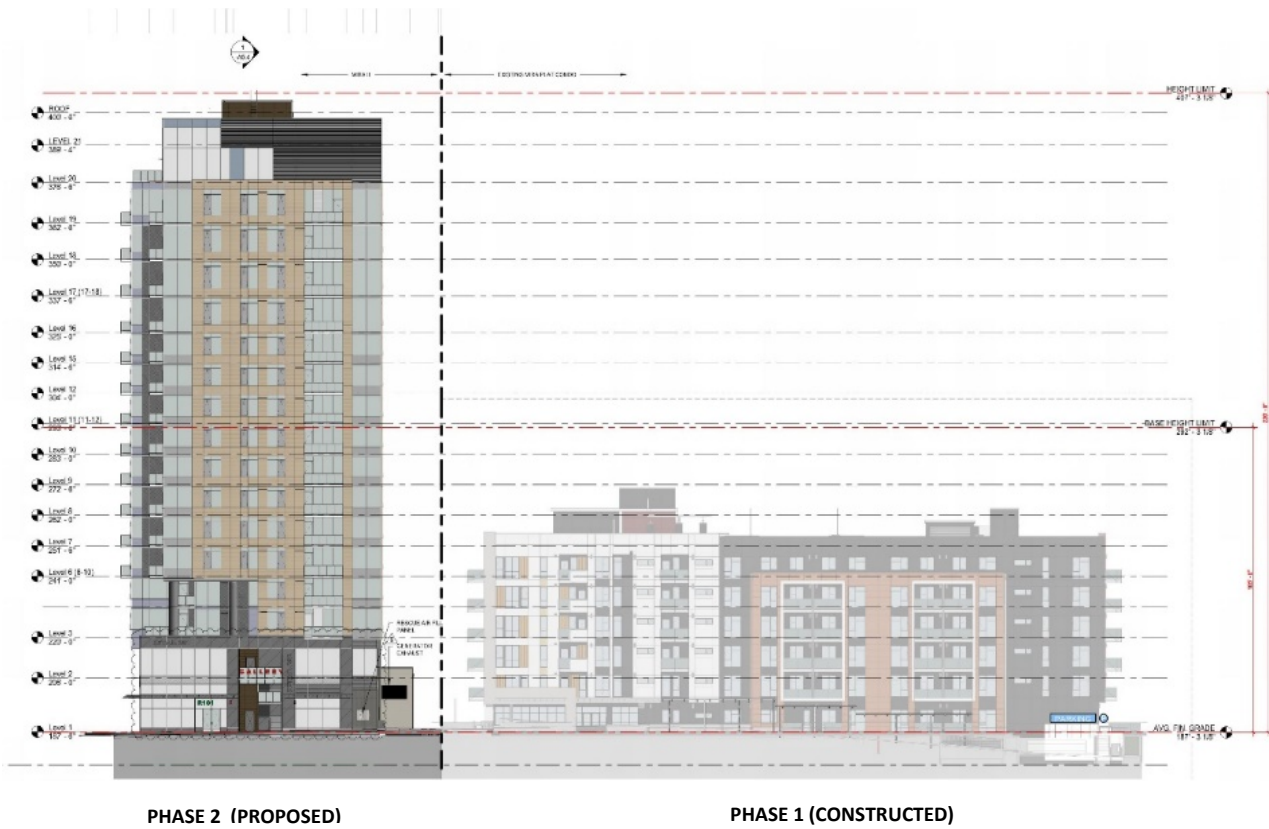
**Phase 2 South Elevation**



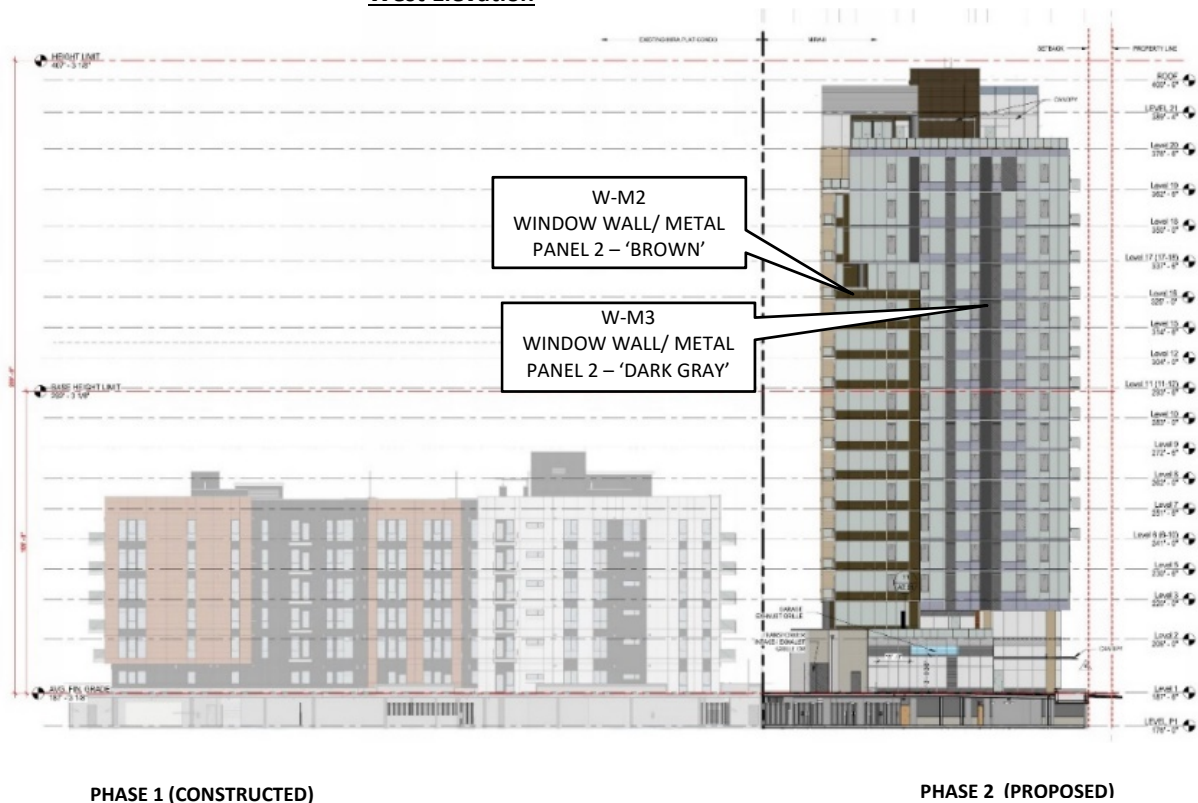
**Phase 2 North Elevation**



**East Elevation (103<sup>rd</sup> Avenue NE)**

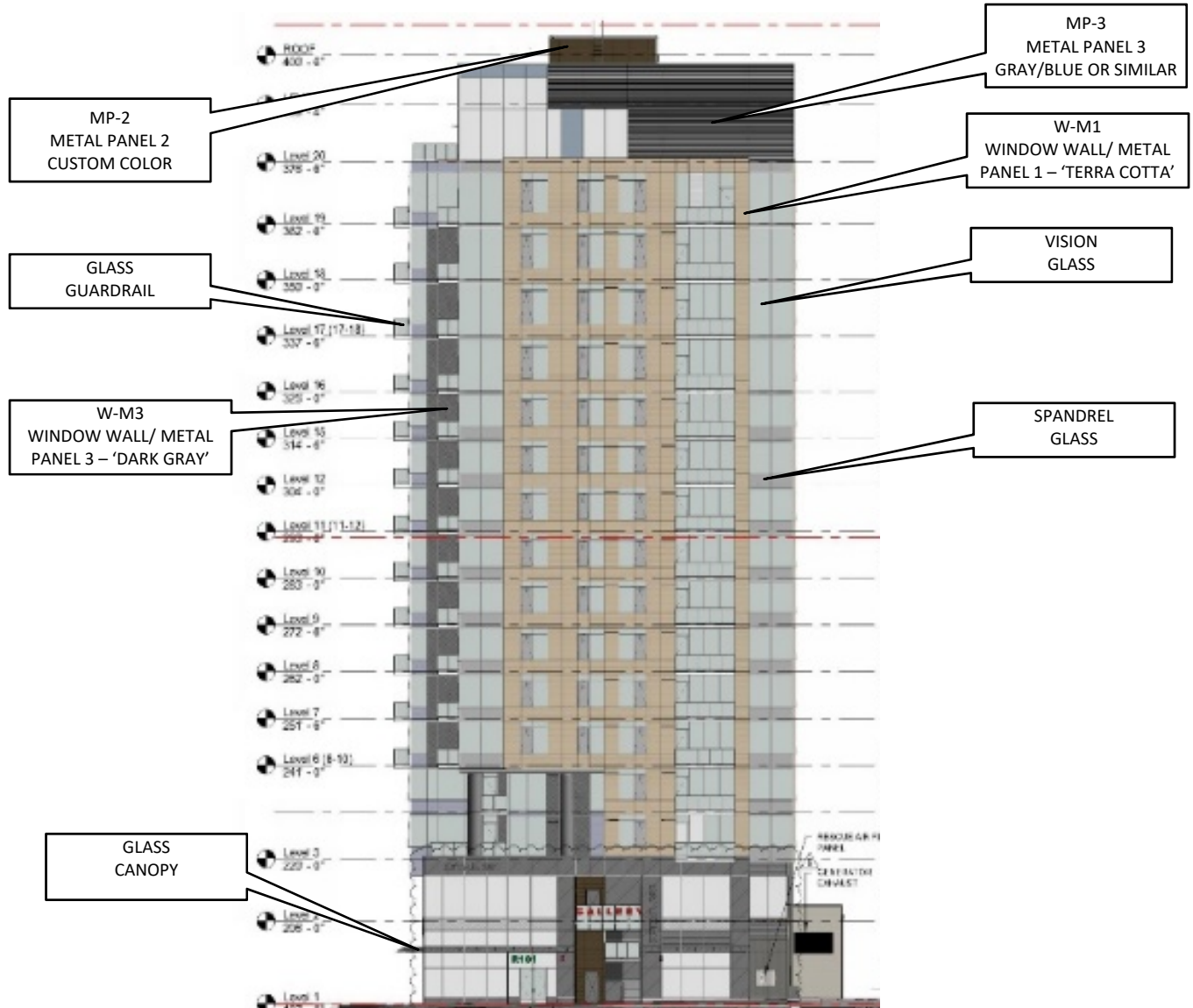


**West Elevation**

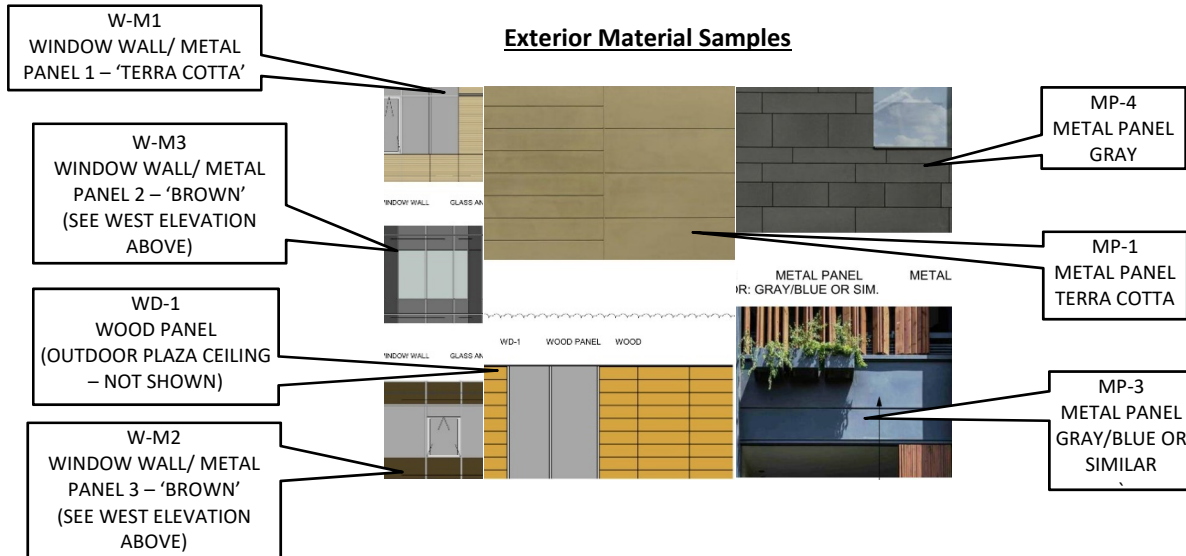


**Phase 2 Proposed Exterior**

### Materials – East Elevation



### Exterior Material Samples

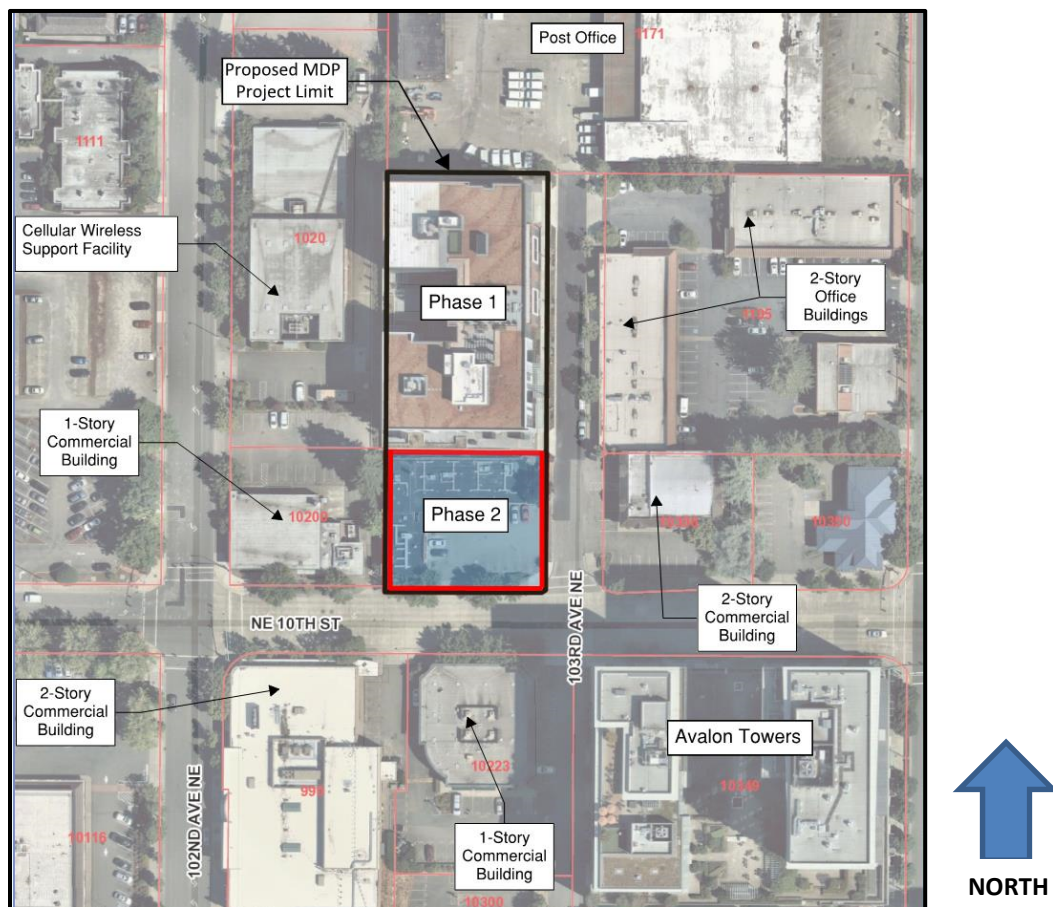


**Color and Materials:** The Phase 2 building's exterior materials include glass (vision & spandrel), warm earth-toned metal panels and, in the outdoor plaza, accents of wood (ceiling) and stone (paving). Lighter-toned metal panels are proposed on the residential tower, while metal panels in a terra-cotta color are proposed on the podium. This use of color reinforces the differentiation in the project's functions (retail and residential) and is appropriately more saturated on the building's base and within the outdoor plaza. Highly transparent glass is incorporated on the podium to maximize visual engagement for pedestrians into the retail use(s), and lobby. In the residential units, transparent glazing is maximized to leverage desirable views to the south and west. Overhead weather protection at the pedestrian level incorporates transparent glass canopies to maximize daylight, while integrated lighting, particularly within the outdoor plaza, will provide additional warmth and will support use of the plaza during the evening.

#### D. Process

Master Development Plan (MDP) Review and Administrative Design Review (Design Review) for Downtown proposals are required by Land Use Code (LUC) 20.25A.030.A. The MDP, ADR and SEPA Threshold Determination are Process II decisions. Process II is an administrative process. The Environmental Coordinator issues the SEPA Threshold Determination and the Director of Development Services issues the Design Review decision. An appeal of any Process II decision is heard and decided upon by the City of Bellevue Hearing Examiner. **Refer to Condition of Approval regarding Design Review Modifications in Section XI of this report.**

## II. SITE DESCRIPTION, ZONING, & LAND USE CONTEXT



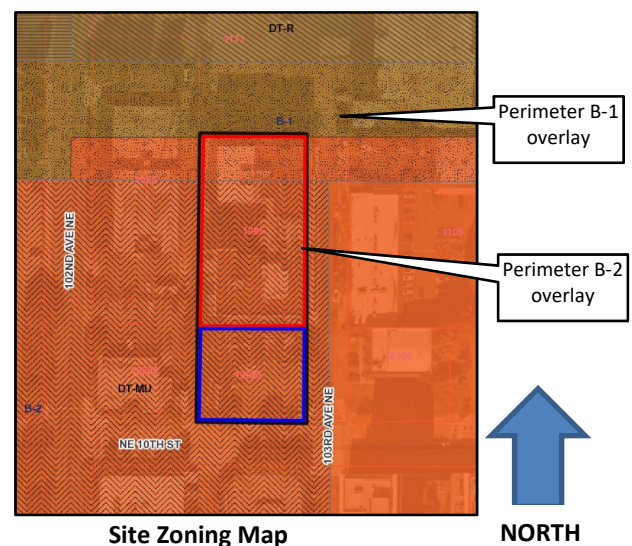
**Site Context Map**

#### A. Site Description

The site (the project limit) currently consists of the recently completed Phase 1 residential building to the north and, to the south, the Phase 2 site, which includes a 1 story commercial building and associated parking lot that will be removed. The site is roughly flat at its south boundary along NE 10<sup>th</sup> Street but begins to lose grade along the 103<sup>rd</sup> Avenue NE street frontage beginning at the Phase 1 building and continuing to the site's north boundary. Existing driveway access to below-grade parking for the Phase 1 building will remain and the garage will be expanded to the south to provide parking stalls for Phase 2 residents, guests and retail/restaurant customers. The existing driveway along for Phase 1 loading and trash/recycling pick-up will remain and will be expanded to accommodate loading and vehicle access requirements for Phase 2.

#### B. Zoning

The subject site is located to the northwest of the NE 10<sup>th</sup> Street intersection with 103<sup>rd</sup> Avenue NE in the Downtown Multi-Use (DT-MU) district and within a Perimeter B-2 overlay that was created with the adoption of Downtown Code updates in October, 2017. Per the Right-of-Way Designations in LUC 20.25A.170.B, the site has 2 streetscape designations: NE 10<sup>th</sup> is classified as a 'C' right-of-way, and 103<sup>rd</sup> is classified as a 'D' right-of-way. The site is also within the Downtown Subarea per the Comprehensive Plan. This site, along with all of Downtown, was rezoned in 1981 through Ordinance No. 3013 to implement the 1979 Downtown Subarea Plan Map. The proposed uses of residential and commercial/retail are permitted outright



#### C. Land Use Context

Properties to the north of the site are located within the Downtown-Residential (DNTN-R) land use district within a B-1 perimeter overlay. Properties to the west and south of the site are located within the same land use district and overlay DNTN-MU (Perimeter B-2), while properties to the east of the site are within the same land use district but are not within a perimeter overlay.

Adjacent properties are as follows:

|        |   |
|--------|---|
| North: | DNTN-R (Perimeter B-1): US Post Office.   |
| East:  | DNTN-MU: 2-story retail building.   |
| South: | DNTN-MU (Perimeter B-2): 1-story commercial building.                               |
| West:  | DNTN-MU (Perimeter B-2): 1-story commercial building and cellular support facility. |

### III. CONSISTENCY WITH LAND USE CODE/ ZONING REQUIREMENTS

#### A. General Provisions of the Land Use Code - Use

Uses are regulated by Land Use Code (LUC) Section 20.10.400 (Use Charts) and LUC 20.25A.050 for the Downtown Multi-Use (DT-MU) land use district. The residential and commercial/retail uses proposed for this project are permitted with Design Review approval, subject to meeting the Design Review Guidelines of LUC 20.25A.140-180.

#### B. Dimensional Requirements

The dimensional/area requirements that apply in DNTN-MU Perimeter B-2 overlay are listed below.

**Table 1 – Dimensional Requirements for Master Development Plan (MDP)**

| SITE INFORMATION   |  |   |   |
|--|--|---|---|
| <b>Downtown (DT) - Project Limit LUC 20.25A.020</b>  | 51,162 SF.<br><br>(Phase 1: 34,109 SF.+ Phase 2: 17,053 SF. = 51, 162 SF.)   |   |   |
| <b>Land Use District per LUC 20.25A.010</b>  | DT-MU within Perimeter B-2 Overlay   |   |   |
| <b>Building Type per LUC 20.25A.060 Footnote (2)</b>   | Residential  |   |   |
| <b>Floor Area Ratio: Base/Max</b>  | 4.5 Base/5.0 Max.  | 4.99 Proposed<br><br>Phase 1 + Phase 2 /Project Limit Area<br><br>(125,052 SF + 130,748 SF = 255,800 SF/51,162= 4.99)   | Meets requirement. The applicant has proposed to develop the site (Phases 1 and 2) to an FAR of 5.0 and will provide a minimum of 32,272 amenity points as described in part D of this section below. |
| 1. STREET FRONTAGE and LANDSCAPING (LUC 20.25A.090 & 110)  |  |   |   |
| Item   | Permitted/Required   | Proposed  | Code Section/Comments/Conditions  |
| <b>Sidewalk Width measured from back of curb:</b><br><br><b>Overall Width:</b><br>(includes 6" curb) | <b>NE 10<sup>th</sup> Street</b><br><b>12'-6"</b><br><br><b>103<sup>rd</sup> Avenue NE</b><br><b>12'-6"</b>                        | <b>NE 10<sup>th</sup> Street</b><br><b>12'-6"</b><br><br><b>103<sup>rd</sup> Avenue NE</b><br><b>12'-6"</b>   | Meets Requirement<br><br>LUC 20.25A.090 and LUC 20.25A.030.D  |
| <b>Planting Strip/Tree Pits:</b>   | <b>NE 10<sup>th</sup> Street:</b><br>5 ft.-wide planting strip.<br><br><b>103<sup>rd</sup> Avenue NE.:</b> 5 ft. x 5 ft. tree pits | <b>NE 10<sup>th</sup> Street:</b><br>5 ft.-wide planting strip (partial: provision of load/unload area prevents continuous planting strip)<br><br><b>103<sup>rd</sup> Avenue NE.:</b> 5 ft.-wide planting strip | <b>Refer to Administrative Departure Request 1 - Planting Strip in part G of this Section below.</b>  |

|   |   |  |   |
|---|---|--|---|
| <p><b><u>Sidewalk Width:</u></b></p>  | <p><b>NE 10<sup>th</sup> Street:</b><br/>7 ft.-wide<br/><b>103<sup>rd</sup> Avenue NE.:</b><br/>7 ft.-wide</p>  | <p><b>NE 10<sup>th</sup> Street:</b><br/>7 ft.-wide<br/><b>103<sup>rd</sup> Avenue NE.:</b><br/>7 ft.-wide</p>   |   |
| <p><b><u>Landscaping -<br/>Street Tree<br/>Caliper &amp; Species:</u></b></p> | <p><b>NE 10<sup>th</sup> Street:</b><br/><i>Tupelo Nyssa</i><br/>‘Firestarter’</p> <p><b>103<sup>rd</sup> Avenue NE.:</b><br/><i>Ginkgo: Ginkgo biloba</i><br/>‘Autumn Gold’<br/>(2” caliper)</p> | <p><b>NE 10<sup>th</sup> Street:</b><br/>Existing tree to remain.<br/>Due to the provision of<br/>the vehicular pull out<br/>on NE 10<sup>th</sup> Street, there<br/>is not sufficient room<br/>to plant new trees.</p> <p><b>103<sup>rd</sup> Avenue NE.:</b><br/><i>Ginkgo: Ginkgo biloba</i><br/>‘Autumn Gold’<br/>(2” caliper)</p> | <p><b><u>Refer to Conditions of Approval regarding<br/>Tree Protection, Street Trees and Right-of-<br/>Way/Streetscape Installation &amp; Irrigation,<br/>Installation and Maintenance Assurance<br/>Devices, and Maintenance Agreement<br/>with the City of Bellevue</u> in Section XI of<br/>this report.</b></p> |

## 2. PARKING (LUC 20.25A.080)

| Item                     | Permitted/Required   | Proposed  | Code Section/Comments/<br>Conditions   |
|--------------------------|--|---|--|
| <b>Vehicular Parking</b> | <p><b><u>Residential:</u></b><br/>Minimum: 1.0/unit<br/>Maximum: 2.0/unit</p> <p>Phase 1: 162 units<br/>Phase 2: 150 units<br/>Total minimum stalls required: 312 stalls</p> <p><b><u>Visitor:</u></b><br/>Minimum: 1.0/20 units<br/>312/20 = 15.6 stalls (16)</p> <p><b><u>Retail:</u></b><br/>Minimum: 2.0/1,000 nsf. (net square feet)<br/>Maximum: 4.0/1,000 nsf.<br/>308 nsf + 3,410 nsf = 3,718 nsf/1,000 = 3.7 x 2=7.4 stalls (8.0)</p> | <p><b><u>Residential:</u></b><br/>Phase 1: 170 stalls<br/>Phase 2: 160 stalls<br/><b>Total Phase 1/Phase 2 residential stalls: 330</b></p> <p><b><u>Visitor:</u></b><br/>Phase 1: 8 stalls<br/>Phase 2: 8 stalls<br/><b>Total Phase 1/Phase 2 visitor stalls: 16</b></p> <p><b><u>Retail:</u></b><br/>Phase 2: 8 stalls<br/><b>Total Phase 1/Phase 2 retail stalls: 8</b></p> | <p>Phase-I &amp; 2 combined<br/>Meets requirement</p> <p>LUC 20.25A.080.B</p> <p>Meets LUC 20.25A.080.B.n</p> <p>Meets LUC 20.25A.080.B.k (footnote 6)</p> |

|                                      |  |  |   |
|--------------------------------------|--|--|---|
| <b>Vehicular Parking (Continued)</b> | <p><b><u>Restaurant:</u></b><br/> Minimum: 10/1,000 nsf.<br/> Maximum: 20/1,000 nsf.<br/> 2,000 nsf./1,000 = 2.0 x 10 = 20 stalls</p> <p><b><u>Total Minimum Stalls Required: 356</u></b></p> <p><b><u>Compact Stalls</u></b><br/> Up 65% of required parking stalls in the DNTN may be compact with a Departure</p> | <p><b><u>Restaurant:</u></b><br/> Phase 2: 26 stalls<br/> <b>Total Phase 1/Phase 2 restaurant stalls: 26</b></p> <p><b><u>Total Stalls Provided: 380</u></b></p> <p>Phase 1: 75 stalls<br/> Phase 2: 70 stalls<br/> Total: 145 stalls</p> <p>145/380 = .38 (38%)</p> | <p>LUC 20.25A.080.B</p> <p>Meets LUC 20.25A.080.B.n</p> <p>Meets LUC 20.25A.080.B.k (footnote 6)</p> <p><b>Refer to Administrative Departure Request 7– Compact Parking in part G of this Section below.</b></p> <p><b><u>Refer to Conditions of Approval regarding Allocation of Parking for Retail, Restaurant and Residential Uses in Section XI of this report.</u></b></p> |
| <b>Bicycle Parking</b>               | <p>a. One space per every 10 dwelling units for residential uses. 312/10 = 31.2 spaces</p> <p>b. Provided on-site in a secure location.</p> <p>c. Covered Spaces. At least 50 percent of required parking shall be covered.</p>  | <p>40 for residential</p> <p>Bike room on P1 garage. (covered)</p>   | <p>Meets requirement.</p> <p>Phase -I &amp; 2 combined</p> <p>LUC 20.25A.080.G.1.b &amp; 2-5 Provided on-site in a secure, covered location meeting the dimensional requirements.</p>   |

**Table 2 – Dimensional Requirements for Phase 2 Design Review**

| <b>SITE INFORMATION</b>                                      |   |
|--|---|
| <b>Downtown (DT) - Project Limit<br/>LUC 20.25A.020</b>      | 51,162 SF.<br><i>(Phase 1: 34,109 SF.+ Phase 2: 17,053 SF. = 51, 162 SF.)</i> |
| <b>Land Use District per<br/>LUC 20.25A.010</b>              | DT-MU within Perimeter B-2 Overlay  |
| <b>Building Type per<br/>LUC 20.25A.060<br/>Footnote (2)</b> | Residential   |

| <b>3. DIMENSIONAL REQUIREMENTS (LUC 20.25A.060)</b>                              |   |   |  |
|--|---|---|--|
| <b>Item</b>  | <b>Permitted/Required</b>                 | <b>Proposed</b>   | <b>Code Section/Comments/Conditions</b>  |
| <b>Setback from Right-of-Way</b>   | 0 ft.                                     | Balconies extend 12" over property line into 103 <sup>rd</sup> Avenue NE right-of-way.  | <b>Refer to Administrative Departure Request 3– Intrusions Over the Sidewalk in part G of this Section below.</b><br><br>LUC 20.25A.030.D, LUC 20.25A.060.B.2.a.2  |
| <b>Maximum Floor Plate Above 40 ft. (Measured in gsf/f)</b>                      | 20,000 SF.                                | 9,500 SF.   | Meets Requirement  |
| <b>Maximum Floor Plate Above 80 ft. (Measured in gsf/f)</b>                      | 13,500 SF.                                | 9,500 SF.   | Meets Requirement.<br>To comply with the requirements in 20.25A.075.A.2 for additional building height above the trigger (105 ft), all floor plates in the Phase 2 tower above 105 ft. must be reduced by 10%, or to an area of no greater than 12,150 SF. As proposed, the floor plate areas of 9,500 are less than the maximum allowed and meet the floor reduction requirement. <b>Refer to discussion regarding Building Height above Trigger below.</b> |
| <b>Maximum Floor Plate Above Trigger Height (Measured in gsf/f)</b>              | 13,500 SF.                                | 9,500 SF.   |  |
| <b>Floor Area Ratio: Base/Max</b>  | 4.5/5.0                                   | 2.55<br>(130,748/ 51,162 = 2.55)  | Meets requirement.   |
| <b>4. ADDITIONAL DIMENSIONAL REQUIREMENTS IN DOWNTOWN PERIMETER OVERLAY B-2</b>  |   |   |  |
| <b>Item</b>  | <b>Permitted/Required</b>                 | <b>Proposed</b>   | <b>Code Section/Comments/Conditions</b>  |
| <b>Maximum Lot Coverage by Structure</b>   | 75%                                       | 73.44% Phase 1 & Phase 2 combined.<br><br><i>Combined lot coverage/ Combined site area:<br/>37,571 SF/51,162 SF = 73.44%</i>              | Meets requirement.<br><br>LUC 20.25A.060   |
| <b>Maximum Building Height/Maximum Building Height with Mechanical Equipment</b> | Building: 220 ft.<br>Top of Mech: 240 ft. | Building: 189.24 ft.<br>Top of Mech: 217.32 ft.<br><br><i>el. 376.5 ft. (roof) – el. 187.26 ft. (Average Finished Grade) = 189.24 ft.</i> | Meets requirement.<br><br>Measured from average finish grade to rooftop - additional 20 feet allowed for mechanical equipment.<br><br>LUC 20.25A.060.A.4 footnote (12)   |

|  |   |   |  |
|--|---|---|--|
| <b>Building Trigger for Additional Height</b>  | 105 ft.   | Triggered – 84.24 ft. of additional building height requested to building height of 189.24 ft. (see below)  | LUC 20.25A.075.A.3   |
| <b>Building Height Above Trigger</b>   | 115 ft.<br><br>Maximum building height allowable (220 ft.) – Trigger height (105 ft.) = maximum additional building height allowable above trigger:<br><br><i>(220 ft.- 105 ht.= 115 ft.)</i>   | 84.24 ft.<br><br>Proposed Phase 2 building height (189.24 ft.) – Trigger height (105 ft.) = 84.24 ft. proposed additional building height above trigger:<br><br><i>(189.24 ft.- 105 ft.= 84.24 ft.)</i>   | Meets requirement.<br><br>Requirements for additional height above trigger: <ul style="list-style-type: none"> <li>10% maximum floor plate reduction above trigger height. Floor plates are (9,500 sf/13,500 sf = 70%)</li> <li>Outdoor Plaza space in the amount of 10 percent of the site (project limit) required. <b>Refer to Administrative Departure Request 4 – Outdoor Plaza Size in part G of this Section below.</b></li> </ul><br>LUC 20.25A.030.D, LUC 20.25A.060.A.4 (12), LUC 20.25A.075.A.3 |
| <b>5. STREET FRONTAGE and LANDSCAPING (LUC 20.25A.090 &amp; 110)</b>   |   |   |  |
| <b>Item</b>  | <b>Permitted/Required</b>   | <b>Proposed</b>   | <b>Code Section/Comments/Conditions</b>  |
| <b>Sidewalk Width measured from back of curb:</b><br><br><u><b>Overall Width:</b></u><br>(includes 6" curb)<br><br><br><u><b>Planting Strip/Tree Pits:</b></u> | <b>NE 10<sup>th</sup> Street</b><br><b>12'-6"</b><br><br><b>103<sup>rd</sup> Avenue NE</b><br><b>12'-6"</b><br><br><b>NE 10<sup>th</sup> Street:</b><br>5 ft.-wide planting strip.<br><br><b>103<sup>rd</sup> Avenue NE.:</b> 5 ft. x 5 ft. tree pits | <b>NE 10<sup>th</sup> Street</b><br><b>12'-6"</b><br><br><b>103<sup>rd</sup> Avenue NE</b><br><b>12'-6"</b><br><br><b>NE 10<sup>th</sup> Street:</b><br>5 ft.-wide planting strip (partial: provision of load/unload area prevents continuous planting strip)<br><br><b>103<sup>rd</sup> Avenue NE.:</b><br>5 ft.-wide planting strip | Meets Requirement<br><br>LUC 20.25A.090 and LUC 20.25A.030.D<br><br><br><b>Refer to Administrative Departure Request 1 - Planting Strip in part G of this Section below.</b>   |

|  |   |   |  |
|--|---|---|--|
| <b><u>Sidewalk Width:</u></b>  | <b>NE 10<sup>th</sup> Street:</b><br>7 ft.-wide<br><b>103<sup>rd</sup> Avenue NE.:</b><br>7 ft.-wide  | <b>NE 10<sup>th</sup> Street:</b><br>7 ft.-wide<br><b>103<sup>rd</sup> Avenue NE.:</b><br>7 ft.-wide  |  |
| <b><u>Landscaping -<br/>Street Tree<br/>Caliper &amp; Species:</u></b> | <b>NE 10<sup>th</sup> Street:</b><br><i>Tupelo Nyssa</i><br>'Firestarter'<br><br><b>103<sup>rd</sup> Avenue NE.:</b><br><i>Ginkgo: Ginkgo biloba</i><br>'Autumn Gold' | <b>NE 10<sup>th</sup> Street:</b><br>Existing tree to remain.<br>Due to the provision of<br>the vehicular pull out<br>on NE 10 <sup>th</sup> Street, there<br>is not sufficient room<br>to plant new trees.<br><br><b>103<sup>rd</sup> Avenue NE.:</b><br><i>Ginkgo: Ginkgo biloba</i><br>'Autumn Gold'<br>(2" caliper) | <b><u>Refer to Conditions of Approval regarding<br/>Tree Protection, Street Trees and Right-of-<br/>Way/Streetscape Installation &amp; Irrigation,<br/>Installation and Maintenance Assurance<br/>Devices, and Maintenance Agreement<br/>with the City of Bellevue in Section XI of<br/>this report.</u></b> |

#### 6. PARKING (LUC 20.25A.080)

| Item                     | Permitted/Required   | Proposed   | Code Section/Comments/<br>Conditions      |
|--------------------------|--|--|---|
| <b>Vehicular Parking</b> | <b><u>Residential:</u></b><br>Minimum: 1.0/unit<br>Maximum: 2.0/unit<br><br>Phase 1: 162 units<br>Phase 2: 150 units<br>Total minimum stalls<br>required: 312 stalls<br><br><b><u>Visitor:</u></b><br>Minimum: 1.0/20<br>units<br>$312/20 = 15.6$ stalls<br>(16)<br><br><b><u>Retail:</u></b><br>Minimum: 2.0/1,000<br>nsf. (net square feet)<br>Maximum: 4.0/1,000<br>nsf.<br>$308 \text{ nsf} + 3,410 \text{ nsf} =$<br>$3,718 \text{ nsf}/1,000 = 3.7 \times$<br>$2 = 7.4$ stalls (8.0) | <b><u>Residential:</u></b><br>Phase 1: 170 stalls<br>Phase 2: 160 stalls<br><b>Total Phase 1/Phase 2<br/>residential stalls: 330</b><br><br><b><u>Visitor:</u></b><br>Phase 1: 8 stalls<br>Phase 2: 8 stalls<br><b>Total Phase 1/Phase 2<br/>visitor stalls: 16</b><br><br><b><u>Retail:</u></b><br>Phase 2: 8 stalls<br><b>Total Phase 1/Phase 2<br/>retail stalls: 8</b> | Phase-I & 2 combined<br>Meets requirement |

|   |  |  |  |
|---|--|--|--|
| <b>Vehicular Parking (Continued)</b>  | <p><b><u>Restaurant:</u></b><br/> Minimum: 10/1,000 nsf.<br/> Maximum: 20/1,000 nsf.<br/> 2,000 nsf./1,000 = 2.0 x 10 = 20 stalls</p> <p><b><u>Total Minimum Stalls Required: 356</u></b></p> <p><b><u>Compact Stalls</u></b><br/> Up 65% of required parking stalls in the DNTN may be compact with a Departure</p> | <p><b><u>Restaurant:</u></b><br/> Phase 2: 26 stalls<br/> <b>Total Phase 1/Phase 2 restaurant stalls: 26</b></p> <p><b><u>Total Stalls Provided: 380</u></b></p> <p>Phase 1: 75 stalls<br/> Phase 2: 70 stalls<br/> Total: 145 stalls</p> <p>145/380 = .38 (38%)</p> | <p>LUC 20.25A.080.B</p> <p>Meets LUC 20.25A.080.B.n</p> <p>Meets LUC 20.25A.080.B.k (footnote 6)</p> <p><b>Refer to Administrative Departure Request 7 – Compact Parking in part G of this Section below.</b></p> <p><b><u>Refer to Conditions of Approval regarding Allocation of Parking for Retail, Restaurant and Residential Uses in Section XI of this report.</u></b></p> |
| <b>Bicycle Parking</b>  | <p>b. One space per every 10 dwelling units for residential uses. 312/10 = 31.2 spaces</p> <p>c. Provided on-site in a secure location.</p> <p>d. Covered Spaces. At least 50 percent of required parking shall be covered.</p>  | <p>40 for residential</p> <p>Bike room on P1 garage. (covered)</p>   | <p>Meets requirement.</p> <p>Phase -I &amp; 2 combined</p> <p>LUC 20.25A.080.G.1.b &amp; 2-5 Provided on-site in a secure, covered location meeting the dimensional requirements.</p>  |
| <b>7. REFUSE/RECYCLING/LOADING (LUC 20.25A.160 &amp; LUC 20.20.590.K and 20.20.725)</b> |  |  |  |
| <b>Item</b>   | <b>Permitted/Required</b>  | <b>Proposed</b>  | <b>Code Section/Comments/Conditions</b>  |
| <b>Refuse &amp; Recycling</b>   |  |  |  |
| <b><u>Residential:</u></b>  | 1.5 SF/unit @ 150 units = 225 SF.  |  | Meets requirement.   |
| <b><u>Retail:</u></b>   | 5 SF/1000 SF. with 5,718 SF./1,000 = 5.8 SF. x 5 = 29 SF.  |  | LUC 20.20.590.K.4, 20.20.725 & 20.25A.160  |
|   | Total Min. Area Required: 225 + 29 = 254 SF  | Total Area Provided: 400 SF.   |  |

|                     |   |                                     |  |
|---------------------|---|-------------------------------------|--|
| <b>Loading Area</b> | One 10 FT x 55 FT dedicated loading space | 20 FT x 60 FT: Shared with Phase 1. | <b><u>Refer to Conditions of Approval regarding Provisions for Loading and Recording: Solid Waste/Recycling Containers in Section XI of this report.</u></b> |
|---------------------|---|-------------------------------------|--|

**C. Phase 1 Site Development - Compliance with Current Downtown Code Standards**

The proposed project desires to combine two parcels within the same land use district to create one project limit. This combination is accomplished through the MDP process. Additionally, by creating one project limit that conforms to existing site development regulations, the applicant can redistribute unused residential FAR from Phase 1 for use by development in Phase 2 provided that the entire development within the project limit will not exceed the maximum FAR for the B-2 Overlay in the DNTN-MU land use district.

Phase 1, one of the two parcels the comprise the new project limit, is already developed with a recently-completed residential building. This building was approved and constructed under the previous Land Use Code.

The new project limit (Phase 1 and Phase 2) substantively changes the entire site. Therefore, site development within the newly created project limit must meet current site development regulations in with the current code. Because Phase 1 was approved under a previous code, the site development within the Phase 1 parcel is currently non-conforming per the current site development regulations with respect to the width of the planting strip and the provision of weather protection for 50 percent of the building façade.

Through the MDP process, the applicant has proposed changes to the development in Phase 1 to meet current site development regulations. The site regulations for Phase 1 and any changes required to bring the site into compliance through this MDP process are discussed below:

**1. Street & Pedestrian Circulation Standards - -Planter Strip Width: 5 ft-wide minimum/Sidewalk Width: 7-ft-side minimum (LUC 20.25A.090.B)**

**Finding:** Phase 1 was approved with an 8-foot wide sidewalk and 4-foot wide planting strip. The current code requires a minimum 7-foot wide sidewalk and 5-foot wide planting strip. The applicant will meet the current requirements by cutting 1 ft from the existing sidewalk on the Phase 1 site along 103<sup>rd</sup> Avenue NE and filling in this area with additional landscaping. The planter strip will meet the required width of 5 feet.

**2. Street-frontage standards in LUC 20.25A.170.B.1 as follows for “D” Rights of Way:**

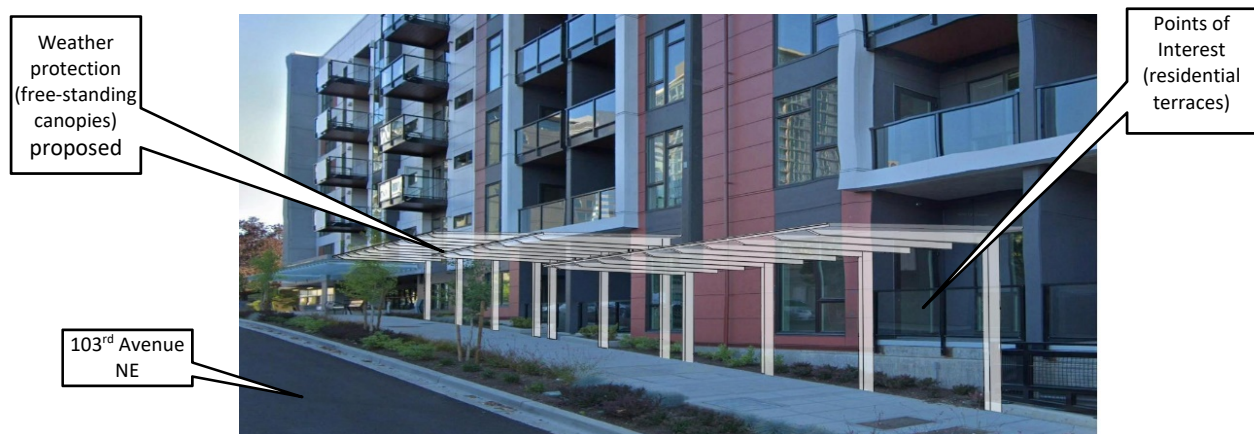
**a. Transparency: Blank walls and inactive uses may occupy no more than 25% of the façade;**

**Finding:** The Phase 1 building as constructed is consistent with the purpose and intent of the Land Use Code design guidelines for Neighborhood Streets – “D” rights-of-way in LUC 20.25A.170.B.4. “D” rights-of-way have low to moderate orientation to pedestrians and are intended to complement residential uses. The Phase 1 building has provided direct relationships between the pedestrian in the public realm/sidewalk and the residential uses in the building for a majority of the façade. Direct visual access is provided into the residential lobby and into the ground level residential units via windows. Additionally, four or the six ground level units have

entry doors onto outdoor patios that directly face the sidewalk. Two of these patios can be directly accessed from the sidewalk. Landscape features at the building entry and behind the sidewalk for the length of the façade help to soften the urban edge. Pedestrian amenities, including a water feature and seating, is provided to complement the residential character and use of the building. Lastly, the streetscape is not required to provide Active or Service Uses. The project, does however, provide residential and residential lobby uses which help to activate the pedestrian realm.

**b. Weather Protection: 50%.**

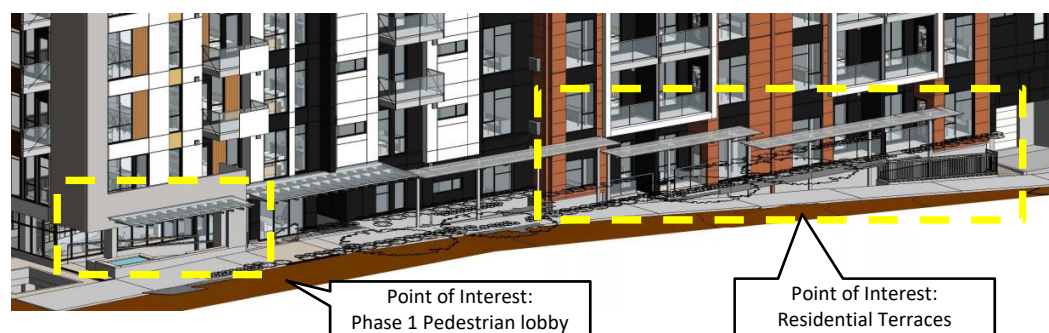
**Finding:** Complies. The Phase 1 site is required to provide weather protection equal to 50% of the street frontage. As shown on Sheet A0.7 of the project drawings in Attachment **G** of this report, the Phase 1 street frontage is approximately 214 ft long, requiring 107 ft. of weather protection. A 107 ft-long free-standing canopy will be installed along the western side of the required sidewalk. See below for a pedestrian-level rendering of the canopies as proposed.



**Phase 1 Street-frontage along 103<sup>rd</sup> Avenue NE**

**c. Points of Interest: Every 90 lineal feet of façade, maximum, and**

**Finding:** Complies. There are two points of interest along the Phase 1 façade on 103<sup>rd</sup> Avenue. The first point of interest is the pedestrian lobby and associated exterior water feature located at the building's southeast corner. A second point of interest is provided approximately 90 feet to the north where residential patios are off-set 6 ft. toward the sidewalk from the adjoining building façade. This gesture is emphasized by the use of terra-cotta colored wall panels and white accents that frame the terraces. Lastly, decorative fencing near the garage helps to screen the garage exhaust vents.



**Mira Phase 1 Building East Elevation Axonometric View**

- d. Vehicle Parking: No surface parking or vehicle access directly between perimeter sidewalk and main pedestrian entrance.**

**Finding:** Complies. There is no surface parking between the perimeter sidewalk and main Phase 1 pedestrian entrance. Vehicular access is provided at the north end of the building.

**D. FAR & Amenity Bonus System (LUC 20.25A.070)**

The applicant proposes to develop the site (Phases 1 and 2) to an FAR of 4.99 (255,800 SF), which is 10 SF less than the maximum FAR for the site (255,810 SF), and will provide 32,613 amenity points, which will exceed the minimum requirement of 32,272 amenity points as described below.

**Table 3: FAR**

|  | <b>Phase 1</b><br><i>(Approved under Old Downtown Code)</i>        | <b>Phase 2</b><br><i>(Proposed under Downtown Code Updates in October 2017)</i> |
|--|--|---|
| <b>Project Area (Site)</b> in DNTN-MU - Perimeter B-2                | <b>34,109 SF</b>   | <b>17,053 SF</b>  |
| <b>Total (Project Limit)</b>   | <b>51,162 SF</b><br><i>(34,109 + 17,053 = 51,162 SF)</i>           |   |
| <b>Maximum FAR Allowable Phase 1</b><br>Residential: 5.0             | <b>170,545 SF</b><br><i>(34,109 x 5.0 = 170,545 SF)</i>            |   |
| <b>Maximum FAR Allowable Phase 2</b><br>Residential: 5.0             |  | <b>85,265 SF</b><br><i>(17,053 SF x 5.0 = 85,265 SF)</i>                        |
| <b>Total FAR Allowable</b><br>within project limit                   | <b>255,810 SF</b><br><i>(170,545 SF + 85,265 SF = 255,810 SF)</i>  |   |
| <b>Phase 1: Constructed FAR (GFA for FAR)</b>                        | <b>125,052 SF</b><br>(constructed)                                 |   |
| <b>Phase 2 Proposed Project FAR (GFA for FAR)</b>                    |  | <b>130,748 SF</b><br>(proposed)   |
| <b>Total Proposed Project FAR (GFA for FAR) within project limit</b> | <b>255,800 SF</b><br><i>(125,052 SF + 130,748 SF = 255,800 SF)</i> |   |
| <b>Project FAR</b>   | <b>4.99 FAR</b><br><b>255,800 SF divided by 51,162 SF = 4.99</b>   |   |

**1. Exemption from FAR for Ground-Level and Upper-Level Active Uses - - Phase 2 building**

As shown in Table 1 Dimensional Requirements, the applicant seeks to exempt 2,668 sf of Ground Level Floor Area of Active Use (retail and restaurant) on Level 1 and 3,071 SF of Upper Level Floor Area Active Use (retail) on Level 2 of the Phase 2 building for a total of 5,739 SF of proposed exempt Active Uses.

**a. Ground-Level Active Use Areas:**

The proposed 2,668 SF floor area of ground-level active uses will be comprised of one space at 2,360 SF at the building's southeast corner and a second 308 SF space at the southwest corner of the residential lobby. The floor areas of both spaces will meet the definition of Active Uses in LUC 20.25A.020, are each included in the associated use charts in LUC 20.25A.050 and will comply with the standards for "A" rights-of-way in LUC 20.25A.170.B.1.b except as follows

The applicant is requesting an Administrative Departure to modify the minimum 75% weather protection requirement for the 308 SF space. **Refer to Administrative Departure Request 5 – Exempt Active Use Weather Protection in part G of this Section below.**

**b. Upper-Level Active Use Area:**

The proposed 3,071 SF floor area of upper-level active use will be comprised of one 3,071 SF space along 103<sup>rd</sup> Avenue NE. The floor area of this space will meet the definition of Active Use in LUC 20.25A.020, is included in the associated use charts in LUC 20.25A.050 and will comply with the standards for upper-level active use in LUC 20.25A.170.D.2, including compliance with the standards for “A” rights-of-way, except as follows: The applicant is requesting an Administrative Departure to modify the standard in LUC 20.25A.170.D.2.c to provide 100% active uses for the floor area and building facades directly below the upper-level active use space. **Refer to Administrative Departure Request 2 – Active Use in part G of this Section below.**

**2. FAR Amenity System Requirements:**

Development within a single project limit (Phase 1 + Phase 2) may exceed its Base FAR or base building height by providing amenities as indicated in Table 4.

Because Phase 2 will be developed above the base building height of 105 feet, the greater of the floor area being constructed above the Base FAR or the floor area being constructed above the Base Building Height, divided by two, shall be the required amenity incentive points. In this case, the floor area above the Base Building Height divided by two (32,273 SF) is greater than the floor area being constructed above the Base FAR (25,571 SF). Therefore, the applicant is required to provide a minimum of 32,273 amenity points. **Refer to the tables below for the calculation of required amenity points for Phase 2:**

**Table 4: Phase 2 Building FAR Amenity Points Required**

| Building Area Developed Above Base FAR   |  |
|--|--|
| <b>Total Floor Area:</b>   | <b>255,800 SF</b><br><i>(Phase 1: 125,052 SF (constructed) + Phase 2: 130,748 SF (proposed))</i>             |
| <b>Base FAR: 4.5</b><br><b>Max FAR: 5.0</b>  | <b>230,229 SF</b><br><i>(34,109 SF + 17,053 SF = 51,162 SF)</i><br><br><i>(51,162 SF x 4.5 = 230,229 SF)</i> |
| <b>Square Feet above Base FAR:</b>   | <b>25,571 SF</b><br><i>(255,800 – 230,229 = 25,571)</i>  |
| Building Area Developed Above Base Building Height   |  |
| <b>Base Building Height</b>  | <b>105 Feet</b>  |
| <b>Building area developed above base building height</b>  | <b>64,546 SF</b>   |
| <b>Building Area Developed Above Base Building Height divided by 2 (LUC 20.25A.070.D.2.a, Condition 2)</b> | <b>32,273 SF</b><br><i>Building area developed above 105 FT: 64,546 SF/2 = 32,273 SF</i>                     |
| <b>REQUIRED AMENITY POINTS</b>   | <b>32,273 sf</b><br><b>32,273 &gt; 25,571</b>  |

**Table 5: FAR Amenities**

|  | Phase 1<br>(Approved under Old Downtown Code)  | Phase 2<br>(Proposed under Downtown Code Updates in October, 2017) |                          |                               |
|--|--|--|--------------------------|-------------------------------|
| Outdoor Plaza:<br>Provided by Phase 2  | N/A  | 9.3:1  | 3,216 SF                 | 29,909 SF<br>(9.3 x 3,216 SF) |
| Water Feature:<br>Provided by Phase 2  |  | 40:1   | \$40<br>(\$40,000 x .10) | 1,600 SF<br>(40 x \$40)       |
| Water Feature:<br>Extra Amenity Points from existing Phase 1 water feature available for use by Phase 2. |  |  |                          | 1,104 SF                      |
| Total FAR Amenity Points Earned:   |  | 32,613<br>(29,909 + 1,600 + 1,104 = 32,613)                        |                          |                               |
| Extra FAR Amenity Points:  | 240<br>(32,613 – 32,373 = 240)   |  |                          |                               |
|  | 32,613 (earned points) > 32,273 (required points)<br>Proposal has met the LUC requirements |  |                          |                               |

**Refer to Conditions of Approval regarding Amenity Designs & Statistics, Documentation of the Value of Water Feature and Recording of Amenities and Exempt Active Use Space in Perpetuity in Section XI of this report.**

**E. Tower Height Requirements/Outdoor Plaza (LUC 20.25A.075.A)**

The proposed Phase 2 tower height will exceed the trigger for additional height by 84.24 FT. Towers that exceed the trigger height set forth in LUC 20.25A.060 must comply with the following criteria of LUC 20.25A.075 as follows:

**1. 10% reduction of floor plate size above the trigger height:**

**Finding:** Meets requirement. The maximum allowable floor area above trigger is 13,500 SF (maximum floor plate above 80 FT). A 10% reduction would equal 12,150 SF (13,500 SF x .9 = 12,150 SF). The proposed floor areas above the trigger are 9,500 SF, which is a reduction of 30% of the maximum allowable.

**2. Outdoor Plaza equal to 10% of the site area (project limit).**

**Finding:** Meets requirement through Administrative Departure Request #2 as discussed in part E of this report below. The area of the Outdoor Plaza required is 10% of the project limit, or 5,116 SF (51,162 SF x .1 = 5,116 SF). Additionally, the design of the Outdoor Plaza must meet the design criteria in the Amenity Incentive System in LUC 20.25A.070.D.4. **Refer to Administrative Departure Request 4 – Outdoor Plaza Size in part G of this Section.**

**F. Green and Sustainability Factor (LUC 20.25A.120)**

**Finding:** The proposal has met the requirements for the Green and Sustainability Factor. The site requires a Green and Sustainability Factor score of 0.25 per LUC 20.25A.120. The proposal provides a score of 0.253. The project achieves the required score by providing:

1. A green wall at the ground level along the west edge of the site.
2. Landscape areas in the outdoor plaza, street-frontages and roof-top terraces with native or drought-

tolerant plants.

3. The protection of the existing tree in the NE 10th Street right-of-way.
4. Shrubs and large perennials
5. Trees: small-5, medium-4 and large-2.
6. Structural soil systems for the new street trees along 103<sup>rd</sup> Avenue NE.

**Refer to Attachment G: Project Drawings: Sheets L1.0 – L4.2 for plans and associated plant schedules**

**G. Administrative Departures (LUC 20.25A.030)**

The applicant has submitted Administrative Departures Request(s) to modify provisions of the LUC when strict application would result in a development that does not fully achieve the policy vision for the Downtown as articulated in the Comprehensive Plan and the Downtown Subarea Plan. Below is a list of Departure request made by the applicant:

- 1 – Planter Strip: Request to Depart from LUC 20.25A.090.A.1 Plate
- 2 – Active Use: Request to Depart from LUC 20.25A.170.B.1.b
- 3 – Intrusions over the Sidewalk: Request to Depart from LUC 20.25A.060.B.2.a.iii
- 4 – Outdoor Plaza Size: Request to Depart from LUC 20.25A.075.A.3
- 5 – Exempt Active-Use Weather Protection: Request to Depart from LUC 20.25A.070.C.1.a
- 6 – Build-to Line: Request to Depart from LUC 20.25A.020.A
- 7 – Compact Parking: Request to Depart from LUC 20.25A.080.F.2

A discussion of how each Departure Request meets the decision criteria in LUC 20.25A.030.D.1.b. follows below: **Also refer to Attachment C: ADMINISTRATIVE DEPARTURE REQUEST FORM for each of the applicant's Departure Requests.**

**1. Departure 1 – Planter Strip: Request to Depart from LUC 20.25A.090.A.1 Plate A**

The applicant has requested a departure from the required provision of tree pits along 103<sup>rd</sup> Avenue NE for the proposed Phase 2 building. A planting strip was approved and installed for the Phase 1 building. This departure is being requested to allow a continuous planting strip along the 103<sup>rd</sup> Avenue NE streetscape for Phase 1 and Phase 2, which will provide a consistent street-frontage appearance for both the entire project (Phase 2 and Phase 1) along NE.

**Departure Decision Criteria:**

- a. **The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; and**  
**Finding:** As proposed, the approval of a planter strip along 103<sup>rd</sup> Avenue NE will advance the Comprehensive Plan Downtown goal to enhance “a continuous landscape planter with street trees along the curbside edge of the sidewalk” that will provide “a healthier growing environment for street trees”. The proposed planter strip will also advance Policy S-DT-99 to “emphasize the street environment as a key component of the Downtown open space network” through the increased landscaping that will result from the installation of a planting strip versus tree pits.
- b. **The resulting design will be more consistent with the purpose and intent of the Land Use Code; and**  
**Finding:** The streetscape design that will result from the approval of the Phase 2 planting strip will be consistent with the purpose and intent of the Land Use Code. The Phase 2 planting strip will contribute to the points required to meet the Green and Sustainability Factor as described in part G of this section and will provide more extensive area for the planting of street trees.
- c. **The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; and**  
**Finding:** The modification to allow the Phase 2 planting strip as proposed is the minimum

reasonably necessary to achieve the Land Use Code intent. The proposed landscape planting strip achieves a greater area of landscaping than would be provided with the installation of tree pits and will enhance the pedestrian experience along 103rd Avenue NE by further softening the transition to the street with additional plants and groundcover.

- d. **Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met; or**

**Finding:** Not Applicable. There are no specific terms regarding with request

- e. **The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section.**

**Finding:** Not applicable. This project was not originally approved through a Development Agreement.

**Finding:** After review of the submitted Administrative Departure Request against the Departure Decision Criteria as discussed above, the departure allowing a planting strip instead of requiring tree-pits along the Phase 2 street frontage with 103<sup>rd</sup> Avenue NE will be approved as part of this Design Review approval.

2. **Departure 2 – Active Use: Request to Depart from LUC 20.25A.170.B.1.b:**

The applicant has requested a departure from the “A” street right-of-way standard to provide 100% active uses below the proposed exempt upper-level active use along 103rd Avenue NE on the Phase 2 tower. This departure is requested because the proposed Fire Control & Command (FCC) room needs to be located on the Phase 2 street wall at the northeast corner of the building, directly below an upper level active use space, and is not an active use as defined in LUC 20.25A.020.

**Departure Decision Criteria:**

- a. **The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; and**

**Finding:** The location of the FCC room along the facade of the Phase 2 building advances the Downtown Comprehensive Plan Public Safety Policy S-DT-29 to “provide adequate fire and safety services for the Downtown Subarea as population and employment increase over time”. The proposed FCC room has been located to meet the requirements of the Fire Department and it will provide direct Fire Department access from the street. Additionally, the need to provide Active Uses along NE 10<sup>th</sup> Street and the majority of the 103rd Avenue NE (86%) and the site’s small size limit the options to locate the FCC Room elsewhere while still meeting the Fire Departments requirements.

- b. **The resulting design will be more consistent with the purpose and intent of the Land Use Code; and**

**Finding:** The purpose and intent of the Downtown Code is to provide Active Uses at the ground and upper floors of new development to support an engaging, vibrant and visually compelling pedestrian environment. As proposed, the location of the FCC is placed in the corner of the building on the least heavily traveled street, thereby allowing the majority of the Active Use spaces to occur along the more heavily traveled pedestrian areas of the project.

- c. **The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; and**

**Finding:** The size of the proposed FCC room is based on the area requirements of the Fire Department, which is the minimum area reasonably necessary to achieve the Comprehensive Plan (see finding for “a” above).

- d. **Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met; or**

**Finding:** Not Applicable. There are no specific terms regarding with request.

- e. **The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section.**

**Finding:** Not applicable. This project was not originally approved through a Development Agreement.

**Finding:** After review of the submitted Departure Request and the review of this request against the Departure Decision Criteria as discussed above, the departure from the applicable “A” street right-of-way standard in LUC 20.25A.170.B.1.b to allow 86% active uses on 103<sup>rd</sup> Avenue NE on Phase 2 will be approved as part of this Design Review approval.

3. **Departure 3 – Intrusions Over the Sidewalk: Request to depart from LUC 20.25A.060.B.2.a.iii**

The applicant has requested a departure for an exception to Downtown dimensional requirements to extend external balconies over the sidewalk. This departure is necessary to allow 4-foot deep residential balconies on levels L-3 through L- 19 of the Phase 2 tower to extend 12” into the 103<sup>rd</sup> Avenue NE right-of-way. An exception to Downtown dimensional requirements shall be reviewed as an Administrative Departure.

**Departure Decision Criteria:**

- a. **The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; and**

**Finding:** The proposed 12-inch intrusions over the required sidewalk on 103<sup>rd</sup> Avenue NE of the Phase 2 residential balconies will advance the Comprehensive Plan General Design and Function policy to “ensure an aesthetically pleasing urban environment” by enhancing visual interest to an otherwise flat tower façade with more balcony depth than would be provided by a strict application of the dimensional requirements of the Land Use Code.

- b. **The resulting design will be more consistent with the purpose and intent of the Land Use Code; and**

**Finding:** The proposed 12-inch residential balcony intrusion over the ROW is more consistent with the Downtown Building Design Guideline to “incorporate variation and articulation in the design of each tower façade to provide visual interest” as the greater depth of the residential balconies will create more robust visual interest than would otherwise result from a strict application of the Land Use Code. In addition, the greater depth of the residential balconies will provide an enhanced response of the tower’s façade to its eastern orientation, as the deeper balconies will enhance passive solar heat gain protection to units below.

- c. **The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; and**

**Finding:** The maximum approvable intrusion of balconies over the right of way is 50% of the required sidewalk width, which in this instance is 3.5 FT (7 FT/2). The 12-inch intrusion proposed is less than a third of the maximum approvable through an approved Administrative Departure.

- d. **Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met; or**

**Finding:** Not Applicable. There are no specific terms regarding this request.

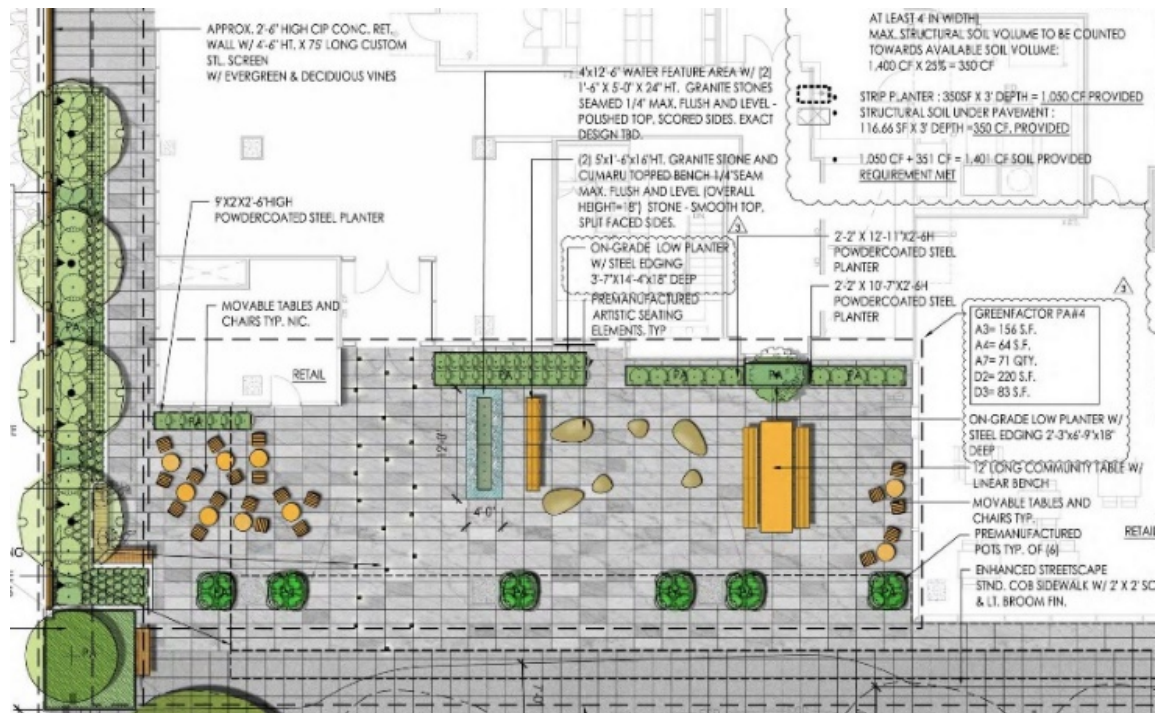
- e. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section.

**Finding:** Not applicable. This project was not originally approved through a Development Agreement.

**Finding:** After review of the submitted Departure Request and the review of this request against the Departure Decision Criteria as discussed above, the departure to LUC 20.25A.060.B.2.a.2.iii to allow balconies to extend 12 inches over the required sidewalk and right of way will be approved as part of this Design Review approval. **Refer to the Condition of Approval regarding Right-of-Way Use for Balcony Intrusion in Section XI of this report.**

**4. Departure 4 – Outdoor Plaza Size: Request to depart from LUC 20.25A.075.A.3**

The applicant has requested a departure from the Code required provision of an Outdoor Plaza space in the amount of 10% of the Phase 2 site. The site (the project limit including Phase 1 and Phase 2) has an area of 51,162 SF, which would require an Outdoor Plaza of 5,116 SF.



**Outdoor Plaza Plan**



**Outdoor Plaza Precedent Images**



**Outdoor Plaza – View from Southwest**

**Departure Decision Criteria:**

- a. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; and**

**Finding:** The Outdoor Plaza design will advance the Comprehensive Plan goal for Great Public Spaces through its unique and memorable features and accessibility to the public. The proposed design will also advance the Urban Design and the Arts goal by:

*Providing variety and compatibility in . . . site design (that) will allow for a mix of interesting and innovative designs that also function within the context of the city. All types of open space can be attractive places, focal points, and provide contrasts to, or integrate with, the built environment.*

The proposed Outdoor Plaza is predominantly covered by the Phase 2 residential building above to create an exterior covered porch that is unique to Downtown Bellevue. This attribute will extend the plaza's use into the fall and provide for earlier use during the spring. Additionally, the south-facing plaza will allow for the penetration of winter sun while providing shade during the heat of the summer. The proposed retail and restaurant spaces along the interior edges of the plaza will encourage pedestrian use, as will the plaza design's provision of seating options, water feature and unique lighting that will extend the use of the plaza into the evening.

- b. The resulting design will be more consistent with the purpose and intent of the Land Use Code; and**

**Finding:** The proposed Outdoor Plaza design will result in an intimately scaled, predominantly weather-protected exterior space animated with Active Uses along two sides, a water feature and high-quality surface materials, furnishings and pedestrian scale lighting. The plaza will also include electrical hook-up locations for potential events. Taken together, the combination of design attributes is more consistent with Downtown Design Guidelines in LUC 20.25A.160.E.2.g & n to "Include features and programming opportunities to encourage year-round use" and "design for events where feasible by providing electrical hookups". The design will also be more consistent with Downtown Design Guidelines in LUC 20.25A.170.A.4 to provide a space that is

neither “secluded or highly exposed”, and which uses “formal benches, movable seating, and informal seating areas” and “Provide(s) more seating areas near active retail establishments”.

**c. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; and**

**Finding:** The modification to the required size of the Outdoor Plaza is the minimum necessary to achieve the Land Use Code intent. As designed, the Outdoor Plaza will provide a concentration of features in an intimately scaled space of 3,216 SF.

**d. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met; or**

**Finding:** A modification to the 10% area requirement for an Outdoor Plaza space may be approved through an Administrative Departure provided that following minimum criteria are met:

**i. The Outdoor Plaza is not less than 3,000 square feet in size or 1,500 square feet on a DT-Small Site;**

**Finding:** Meets minimum criteria - the area of the proposed Outdoor Plaza is 3,216 SF.

**ii. The Outdoor Plaza is functional and is not made up of isolated unusable fragments;**

**Finding:** Meets minimum criteria. The proposed Outdoor Plaza is functionally one contiguous space approximately 90 ft long, 32 FT deep and 28 Ft high.

**iii. The Outdoor Plaza meets the design criteria for outdoor plazas in the floor area ratio and Amenity Incentive System, Chart LUC 20.25A.070.D.4; and**

**Finding:** Meets minimum criteria. The proposed Outdoor Plaza meets the design criteria in the FAR Amenity Incentive System as described below.

**iv. The size of the plaza is roughly proportional to the additional height requested.**

**Finding:** Meets minimum criteria. The size of the plaza (3,216 SF) is roughly proportional to the additional height requested (113.23 ft).

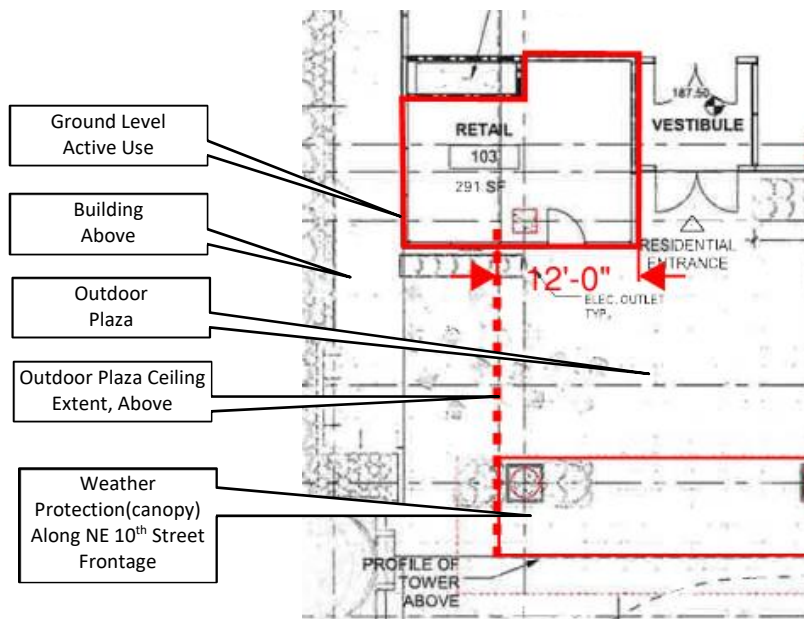
**e. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section.**

**Finding:** Not applicable. This project was not originally approved through a Development Agreement.

**Finding:** After review of the submitted Departure Request and the review of this request against the Departure Decision Criteria as discussed above, the departure to allow a reduction in the size of the required Open Space from 5,116 SF to 3,216 SF will be approved as part of this Design Review approval.

**5. Departure 5 – Exempt Active Use Weather Protection: Request to depart from LUC 20.25A.070.C.1.a:**

The applicant has requested a departure from the “A” street right-of-way standard to provide a minimum of 75% weather protection in front of a 308 SF of proposed ground-level active use (retail) space located at the southwest corner of the Phase 2 residential lobby. As required by Code, weather protection for 15 feet (75%) of the façade must be provided along the street frontage. As proposed, the weather protection (canopy) at the street frontage along NE 10<sup>th</sup> Street covers approximately 12 feet (60%) of the 20 ft-wide façade, or 3 feet (15%) less than required.



**Ground Level Plan (Partial – at west)**

- a. **The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; and**

**Finding:** The proposed (resulting) weather protection design meets the intent of the Comprehensive Plan goal to provide weather protection for pedestrians in the right-of-way. The proposed exempt active use space is located at the back of the outdoor plaza and, because of this location, the ceiling of the outdoor plaza above will provide weather protection.

- b. **The resulting design will be more consistent with the purpose and intent of the Land Use Code; and**

**Finding:** The proposed (resulting) weather protection design is consistent with the intent of the Land Use Code. The ceiling of the Outdoor Plaza provides protection from the elements for most façade of the active use, including the area above the entrance to the space as shown in the diagram above.

- c. **The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; and**

**Finding:** The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objectives as proposed above.

- d. **Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met; or**

**Finding:** Not Applicable. There are no specific terms regarding with request.

- e. **The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section.**

**Finding:** Not applicable. Project was not originally approved through a Development Agreement.

**Finding:** After review of the submitted Departure Request and the review of this request against the Departure Decision Criteria as discussed above, the departure to reduce the "A"- street right-of-way

requirement for 75% weather protection over the exempt active use space above will be approved as part of this Design Review approval.

**6. Departure 6 – Build-to-Line: Request to depart from LUC 20.25A.020.A**

The applicant has requested a departure to modify (re-designate) the Phase 2 project's build-to line along NE 10<sup>th</sup> Street to accommodate the ground-level open space (the outdoor plaza) as allowed in the DT-Build-To-Line definition in LUC 20.25A.020.A. The plaza space, as described in Departure Request 5 above, retains the intended connection between the publicly-accessible pedestrian realm (the NE 10<sup>th</sup> Street right-of-way) and the ground-level internal portions of the Phase 2 building.

**a. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; and**

**Finding:** A strict application of the Land Use Code would require the entire Phase 2 building façade to meet the build-to line along NE 10<sup>th</sup> Street as defined in LUC 20.25A.020. Early in the review process, site lay-out options meeting this requirement were reviewed, including a configuration to the outdoor plaza located along the west site boundary in a north-south orientation. Land Use determined solutions of this type were inferior to the outdoor plaza design submitted for approval. As proposed, the design provides more access to sunlight. In addition, its orientation more effectively engages the public realm along NE 10<sup>th</sup> Street. In this way the resulting design advances Comprehensive Plan goals to promote Downtown open spaces that activate the pedestrian experience.

**b. The resulting design will be more consistent with the purpose and intent of the Land Use Code; and**

**Finding:** The re-designation of the build-to line along NE 10<sup>th</sup> Street will be more consistent with the purpose and intent of the Land Use Code through the provision of the outdoor plaza as described above.

**c. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; and**

**Finding:** The re-designation of the build-to line along NE 10<sup>th</sup> Street is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent as described above.

**d. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met; or**

**Finding:** Not Applicable. There are no specific terms regarding with request.

**e. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section.**

**Finding:** Not applicable. This project was not originally approved through a Development Agreement.

**Finding:** After review of the submitted Departure Request and the review of this request against the Departure Decision Criteria as discussed above, the requested departure to modify (re-designate) the Phase 2 project's build-to line along NE 10<sup>th</sup> Street will be approved as part of this Design Review approval.

**7. Departure 7 – Compact Parking: Request to depart from LUC 20.25A.080.F.2**

The current Code (LUC 20.25A.080.F.2) allows up to 65% of the required parking stalls in the Downtown to be for compact cars through an Administrative Departure. The applicant is proposing

70 stalls, or 35% of the 202 parking stalls provided in Phase 2 to be designated for compact cars. The applicant is choosing to provide flexibility in parking choices for future residents, visitors and retail/restaurant customers.

***a. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; AND***

**Response:** The City of Bellevue's Comprehensive Plan promotes Downtown livability through provisions made for the needs and interests of Downtown residents, employees, shoppers, and visitors. The parking specifications for the Phase 2 project are specific to the intended user. The applicant has identified compact parking stalls as a provision to accommodate future residents, visitors and retail/restaurant customers arriving in compact cars. (Policy S-DT-1 and Policy S-DT-149).

***b. The resulting design will be more consistent with the purpose and intent of the Land Use Code; AND***

**Response:** The City of Bellevue Land Use Code Section 20.25A.080.F.2 allows up to 65% of the required parking stalls in the Downtown to be for compact cars through an Administrative Departure. The applicant is proposing 70 stalls, or 35% of the 202 parking stalls provided in Phase 2 to be designated for compact cars. Elsewhere in the City of Bellevue Land Use Code compact parking is allowed outright. The applicant is choosing to provide flexibility in parking choices future residents, visitors and retail/restaurant customers, and as a result, the project can provide a greater number of overall parking spaces.

***c. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; AND***

**Response:** The City of Bellevue Land Use Code Section 20.25A.080.F.2 allows up to 65% of the required parking stalls in the Downtown to be for compact cars. The applicant is proposing 70 stalls, or 35% of the 202 Phase 2 parking stalls provided, to be designated for compact cars. The 35% compact stalls proposed is the minimum necessary to achieve the Comprehensive Plan objective and Land Use Code intent described above.

***d. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;***

**OR**

***e. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).***

**Response:** The specific terms to grant an Administrative Departure to allow 70 compact stalls, or 35% of the 202 Phase 2 parking stalls provided to be designated for compact cars have been met as described above.

**Finding:** After review of the submitted Departure Request and the review of this request against the Departure Decision Criteria as discussed above, the requested departure to allow 70 compact parking stalls, or 35% of the 202 Phase 2 parking stalls provided will be approved as part of this Design Review approval.

#### **IV. DOWNTOWN DESIGN GUIDELINES**

**Downtown Design Guidelines (LUC 20.25A.140-180).** The applicant has met the intent of the Downtown Design Guidelines, as summarized below. Also refer to **Attachment A: DOWNTOWN DESIGN GUIDELINES** for additional information regarding how the proposal has met each applicable Downtown Design Guideline.

**A. Context (LUC 20.25A.150)**

**2. Relationship to Height and Form of Other Development**

The height and form of both the existing Phase 1 and proposed Phase 2 buildings will respond to existing or anticipated development nearby.

- a. The existing 6 story, 70 ft. tall Phase 1 building is less than the 99 ft. maximum height allowable for future (residential) development in the Perimeter B-1 overlay of the DT-R (Downtown Residential) district to the north. It's massing establishes a continuous street wall along 103<sup>rd</sup> Avenue, and through its façade modulations provides a visually rich composition.
- b. The proposed 20 story, 189.24 ft. tall Phase 2 tower will complement the existing Avalon Towers project across NE 10<sup>th</sup> Street to the southeast, both in terms of building height and also in its "podium and tower" massing diagram.

**3. Relationship to Publicly Accessible Open Spaces**

The Phase 2 building will provide a distinctive plaza along NE 10<sup>th</sup> Street that is accessible to and provides amenities for the residents of the project and the general public. This open space will also be accessible to Phase 1 building residents via a paved walkway connecting the Phase 1 building to the plaza along the west property boundary.

**3. Relationship to Transportation Elements**

- a. Parking for the both phases of the project is provided from 103<sup>rd</sup> Avenue NE at the north end of the Phase 1 building.
- b. The service access provided for the Phase 1 building along 103<sup>rd</sup> Avenue NE is maintained and enlarged to be shared with the Phase 2 building.

**4. Maximize Sunlight on Surrounding Area**

- a. The Phase 1 building will maximize sunlight on surrounding areas, as it was constructed 20 feet lower than the 90-foot maximum height allowed in the old Code. The Phase 2 tower's location will maximize sunlight along the NE 10<sup>th</sup> Street right-of-way and its intersection with 103<sup>rd</sup> Avenue, since the majority of the shadows cast by the building will fall on adjacent properties to the northwest and across 103rd Avenue NE to the northeast of the site.
- b. The Phase 2 tower's floor plates are smaller than what would otherwise be allowed by Code, thereby minimizing the breadth of shadows cast.

**B. Site Organization (LUC 20.25A.160)**

**1. On-Site Circulation**

Pedestrian circulation between Phase 1 and Phase 2 is provided by on the ground level by a walkway beginning at the southwest corner of the Phase 1 site that extends to the south to the Phase 2 site (the Outdoor Plaza) along the project's west property line. Circulation is also provided in the below-grade parking garage, where all 3 levels of the existing Phase 1 garage will be extended to accommodate the parking needs of Phase 2.

**2. Building Entrances:**

- a. Pedestrian access to the Phase 1 building is located along 103<sup>rd</sup> Avenue, while pedestrian access to the Phase 2 building will be provided at the north side of the outdoor plaza.
- b. Pedestrian access to the Phase 2 Ground Level Active Use (retail and restaurant) spaces will be provided within the outdoor plaza, while access to the Upper Level Active Use (retail) space is provided via the public exterior stairs and elevator along the 103rd Avenue NE street frontage.
- c. Vehicular access and trash/recycling pick-up for both phases of the project is directed to the east of the site along NE to minimize impacts to the pedestrian environment provided along NE 10<sup>th</sup> Street.

**3. Open Space**

- a. Phase 1: Public open space provided on the Phase 1 property includes the landscaped area in front of the recessed building lobby along 103<sup>rd</sup> Avenue NE. Amenities in this space will include a water feature (fountain), plantings, benches and overhead weather protection.

The podium courtyard and rooftop terrace will provide semi-public open space for building residents. The majority of residents will also have private open space via patios or balconies.

- b. Phase 2: Public open space for Phase 2 will be comprised of the Outdoor Plaza as described in Section III of this report. This open space will include amenities for the public and building residents such as a water feature, landscape planted areas, seating opportunities and access to light and air through the year as oriented to the south along NE 10<sup>th</sup> Street. The Plaza will also:
  - i. Provide clear and convenient public access. The plaza is located at grade along the NE 10<sup>th</sup> Street frontage.
  - ii. The plaza will become a focal point for the immediate neighborhood context through its unique design and rich assemblage of amenities in a compact space.
  - iii. Will include programming opportunities to encourage year-round use. The plaza is predominantly covered from the elements and will be provided with electrical outlets to support public gatherings and concerts.
  - iv. Provide retail and restaurant amenities along its interior edges, which will animate the space with pedestrian activity and will extend the use of the space into the evening.
  - v. Use lighting strategies and fixtures that will illuminate landscape and architectural features at a low level of intensity to achieve a layered effect.

**C. Streetscape and Public Realm (LUC 20.25A.170.A)**

1. Define the Pedestrian Environment  
Signage will be provided at entries within the first two floor levels.
2. Protect Pedestrians from the Elements
  - a. 103<sup>rd</sup> Avenue NE: On both Phase 1 and Phase 2, overhead weather protection will be provided along 103<sup>rd</sup> Avenue NE by transparent glass canopies; a free-standing canopy along the Phase 1 site and a building-mounted canopy along the Phase 2 site.
  - b. 10<sup>th</sup> Street NE: The Phase 2 building mounted canopy will extend from the intersection of NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE to the west, where it will be attached to each of the columns along the street frontage adjoining the Outdoor Plaza.
3. Create a Variety of Outdoor Spaces
  - a. The proposal for Phase 2 provides an outdoor plaza along NE 10<sup>th</sup> Street which is approximately 3,216 square feet in size. Phase 1, as constructed, also provides outdoor spaces, including the open space by the lobby entry and the large courtyard along the western side of the building.
4. Orient Lighting toward Sidewalks & Public Spaces  
As described above, light fixtures that will illuminate landscape and architectural features at a low level of intensity to achieve a layered effect will be provided in the Outdoor Plaza and walkways elsewhere on the site. Lighting shall be concealed from view where possible or will be integrated into the building design to remain unobtrusive to the exterior environment.

**D. Right-of-Way Designations (LUC 20.25A.170.B)**

1. **NE 10<sup>th</sup> Street: Mixed Use Street – “C” Right-of-Way**  
The length of the Phase 2 building frontage along NE 10<sup>th</sup> Street is approximately 126 feet.
  - a. ***Transparency - 75% minimum and***  
**Finding:** Meets requirement. 75.3% (95 ft.) of the façade is transparent.
  - b. ***Weather Protection - 75% minimum, and***  
**Finding:** Meets requirement. Weather protection meeting the standards in LUC 20.25.170.A.2.b is provided along 96% (121 ft.)
  - c. ***Points of interest - Every 75 lineal feet of façade, maximum, and***  
**Finding:** Meets requirement. The outdoor plaza is located within 75 lineal feet from the edge of the façade along 103<sup>rd</sup> Avenue NE.
  - d. ***Vehicular Parking - No parking or vehicle access between perimeter sidewalk and main***

***pedestrian access, and***

**Finding:** Meets requirement. No parking or vehicle access between perimeter sidewalk and main pedestrian access is proposed.

***e. Active/Service Uses - 50% of street wall, minimum***

**Finding:** Meets requirement. 51% (64 ft.) of the façade includes active uses.

**2. 103<sup>rd</sup> Avenue NE: Neighborhood Street – “D” Right-of-Way**

**a. Phase 1**

The length of the Phase 2 building frontage along 103<sup>rd</sup> Avenue NE is approximately 214 ft.

***vi. Transparency – Blank walls and inactive uses may occupy no more than 25% of the façade, and***

**Finding:** Refer to Administrative Departure 1 – Street Frontage Transparency in Section III.G of this report.

***vii. Weather Protection - 50% minimum, and***

**Finding:** Meets requirement. A 107 ft-long free-standing canopy will be provided as described in Section III.C of this report.

***viii. Points of interest - Every 90 lineal feet of façade, maximum, and***

**Finding:** Meets requirement. The building lobby and residential terraces to the north along 103<sup>rd</sup> are determined to be points of interest as described in Section III.C of this report.

***ix. Vehicular Parking - No parking or vehicle access between perimeter sidewalk and main pedestrian access, and***

**Finding:** Meets requirement. No parking or vehicle access between perimeter sidewalk and main pedestrian access is proposed.

**b. Phase 2**

The length of the Phase 2 building frontage along 103<sup>rd</sup> Avenue NE is approximately 82 ft.

***i. Transparency – Blank walls and inactive uses may occupy no more than 25% of the façade, and***

**Finding:** Meets requirement. Blank walls (at the FCC Room) occupy 13% (11 ft.) of the Phase 2 street frontage along 103<sup>rd</sup> Avenue NE

***ii. Weather Protection - 75% minimum, and***

**Finding:** Meets requirement. 76% (62'-7") of weather protection has been provided. (Per LUC 20.25A.170.B.1.b.ii, when a building is located adjacent to two street frontages, weather protection for the street with the highest pedestrian orientation shall be provided. NE 10<sup>th</sup> Street is a “C” right-of-way, which requires a minimum of 75% weather protection and is higher than the 50% minimum weather protection required along 103<sup>rd</sup> Avenue.)

***iii. Points of interest - Every 90 lineal feet of façade, maximum, and***

**Finding:** Meets requirement. The exterior stairway and elevator provided to access the upper level active use (retail/service space) is located 40 ft. along the facade

***iv. Vehicular Parking - No parking or vehicle access between perimeter sidewalk and main pedestrian access, and***

**Finding:** Meets requirement. No parking or vehicle access between perimeter sidewalk and main pedestrian access is proposed.

**E. Building Design (LUC 20.25A.180) – Phase 2**

**1. Overall Building Design:**

**a. Encourage High-Quality Materials**

**b. Provide Interesting Building Massing**

- i.** The building’s materials will include vision glass, spandrel glass and metal panels that are consistent with the high-quality materials used on other Downtown residential

- developments.
- ii. The building's massing will be composed of a two-story podium and tower above that together provide a viable design solution for a small site. The outdoor plaza carved out of the podium along its NE 10<sup>th</sup> Street frontage will create a pedestrian-focused exterior space that will offer both weather protection and access to sunlight throughout the year.
- 2. Building Base (Podium):
  - a. Provide Clear, Unobstructed Views/Ground Floor Uses
  - b. Encourage Inviting Ground Floor Retail and Commercial Windows  
 The podium's floor-to-ceiling windows will provide extensive views into the Ground Level Active Uses (retail and restaurant spaces) from the NE 10th Street and 103rd Avenue NE street frontages, thereby activating the pedestrian environment.
- 3. Middle (Tower)
  - b. Tower Placement
  - c. Maximize Energy Efficiency in Tower Orientation and Design.
  - d. Design Tower to Provide Visual Interest and Articulation  
 The tower will be located at the southeast corner of the site to align with the street frontages of NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE, thereby making a strong urban gesture to a Downtown intersection and also minimizing the length of shadows the tower will cast on neighboring developments to the northwest and northeast of the site. Residential balconies projecting from the tower's façade will provide articulation and create shadow lines which will accentuate the tower's height.
- 5. Top:
  - b. Foster Attractive Rooftops:  
 The top occupied floor of the tower will include resident amenities such as a glass clad gathering room, library and exterior terraces providing views to the south and west. The mechanical penthouse will be located on the north edge of the tower and will be completely screened.

The applicant has demonstrated compliance with the Design Guidelines and Design Criteria. Refer to Conditions of Approval regarding Street Level Glazing and Screening for Rooftop Mechanical Equipment in Section XI of this report.

## V. PUBLIC NOTICE AND COMMENT

|                         | Master Development Plan | Design Review      |
|-------------------------|-------------------------|--------------------|
| Application Date:       | October 26, 2017        | September 10, 2018 |
| Notice of Application:  | December 7, 2017        | October 18, 2018   |
| Minimum Comment Period: | December 21, 2017       | November 1, 2018   |
| Public Meeting:         | January 10, 2018        | November 6, 2018   |

The Master Development Plan (MDP) was publicly noticed in the City's Weekly Permit Bulletin and Seattle Times on December 7, 2017 with notice mailed to property owners within 500 feet of the project site. A public information sign was installed on the site the same day. A public meeting was held at the City of Bellevue on January 10, 2018 and was attended by the owner, the applicant and Land Use staff. There were no members of the public in attendance at the meeting.

The Design Review was publicly noticed in the City's Weekly Permit Bulletin and Seattle Times on October 18, 2018 with notice mailed to property owners within 500 feet of the project site. A public information sign was installed on the site the same day. A public meeting was held at the City of Bellevue on November 6, 2018 and was attended by the owner, the applicant and Land Use staff. There were no members of the public in attendance at the meeting.

Additionally, no written comments have been received by City staff during the review of this proposal and there are not Parties of Record.

## VI. TECHNICAL REVIEW

### A. Transportation

#### **MDP Site Access and Loading**

Mira Phase 1 and 2 are located on the northwest corner of the intersection of NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE. The Phase 1 building and frontage improvements have been constructed on the northern property, and Phase 2 will be constructed to the south of Phase 1 adjacent to NE 10<sup>th</sup> Street. The proposed project contains two phases. Phase 1 is a recently completed six story, 162-unit multi-family residential building at 1085 103<sup>rd</sup> Avenue NE. Phase two of the project is a twenty story, 150-unit multi-family residential building with 3,379 square feet of retail and 2,360 square feet of restaurant space.

Phase 1 Vehicle Access and Loading: The existing Phase 1 building gains vehicle access from 103<sup>rd</sup> Avenue NE via a 26-foot-wide driveway on the northeast corner of the property. Loading and garbage pickup is currently provided via a 15-foot-wide driveway on 103<sup>rd</sup> Avenue NE on the southeast corner of the property.

Phase 2 Vehicle Access and Loading: The proposed Mira Phase 2 project site will use the existing Phase 1 driveway for vehicular access to 103<sup>rd</sup> Avenue NE through a new connection to the existing underground parking garage. Phase 2 construction will open the walls of the existing Phase 1 parking garage to connect to the Phase 2 parking garage.

Loading and garbage pickup will occur in the on-site loading area between the Phase 1 and Phase 2 buildings. Phase 1 currently utilizes a 15-foot-wide driveway for the garbage loading area. Phase 2 will widen the driveway to 30-feet-wide. Both phases will then use the single loading area for garbage loading operations. Republic trucks are required to back into the loading area from 103<sup>rd</sup> Avenue NE, and the garbage containers will be rolled in front of the truck for overhead loading. Truck turning movement exhibits were submitted for review demonstrating that a garbage truck can maneuver through the site for pick up services. All loading and unloading, delivery, garbage and recycling services must be contained within the project site.

A public parallel parking pullout for vehicles will be located adjacent to the City's NE 10<sup>th</sup> Street. This pullout will be 9 feet wide and 40 feet long and will be signed for passenger drop-off and pick-ups and/ or short-term loading activity.

Phase 1 Pedestrian Access: Pedestrian access to Phase 1 will be provided via a 7-foot-wide sidewalk and 5-foot-wide planter strip on the 103<sup>rd</sup> Avenue NE frontage.

Phase 2 Pedestrian Access: Pedestrian access will be provided to Phase 2 via a 7-foot-wide sidewalk with a 5-foot-wide planter strip along the NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE frontages. Phase 2 will complete the sidewalk connection from NE 10<sup>th</sup> Street to the existing Phase 1 sidewalk. A mid-block pedestrian crosswalk and new ADA compliant curb ramps will be installed to provide pedestrian access from the south side of NE 10<sup>th</sup> Street. **Refer to Conditions of Approval regarding Provisions for Loading in Section XI of this report.**

#### **Street Frontage Improvements**

Mira Phase 1 and 2 are located on the northwest corner of the intersection of NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE. The Phase 1 building and frontage improvements have been constructed on the northern property, and Phase 2 will be constructed to the south of Phase 1 adjacent to NE 10<sup>th</sup> Street. Phase 1

constructed an 8-foot-wide sidewalk, 4-foot-wide planter strip, street lighting, and a 26-foot-wide driveway along the 103<sup>rd</sup> Avenue NE frontage, which was completed in 2018. In order to bring the Phase 1 building into compliance with the current Code, 1 foot of the existing sidewalk width will be removed to widen the planter strip as constructed to 5 feet. Phase 2 will complete the frontage improvements along 103<sup>rd</sup> Avenue NE and NE 10<sup>th</sup> Street by installing a 7-foot-wide sidewalk, 5-foot-wide planter strip, street lighting, a midblock pedestrian crosswalk with a Rectangular Rapid Fire Beacon (RRFB) and a median island across NE 10<sup>th</sup> Street, and ADA compliant curb ramps. Phase 2 will also widen the existing loading area driveway on 103<sup>rd</sup> Avenue NE to 30 feet. The existing Phase 2 site has a 6-foot-wide sidewalk with tree pits and a curb ramp along NE 10<sup>th</sup> Street, and an asphalt driveway with no sidewalk along 103<sup>rd</sup> Avenue NE. There is one existing driveway on NE 10<sup>th</sup> Street, and one driveway along 103<sup>rd</sup> Avenue NE.

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

Engineering and construction details must be shown on the civil engineering plans submitted to the clearing and grading permit. The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans. During construction, city inspectors may require additional survey work at any time to confirm proper elevations. The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. **Refer to Conditions of Approval regarding Civil Engineering Plans – Transportation, Building and Site Plans – Transportation, and Street Frontage Improvements in Section XI of this report.**

Frontage Improvements for Phase 1 have been completed with the exception of the planting strip widening and sidewalk reduction as outlined above. The following improvements are required for Phase 2:

1. The existing curb, gutter, and sidewalk on both NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE shall be completely removed and reconstructed with a sidewalk width of at least twelve feet, not including the curb. Any planters or tree wells are included in the twelve-foot width. At any location where the sidewalk extends over a basement or parking garage, a construction method that will prevent differential settling must be used. Such method must be acceptable to the Transportation Department.
2. The driveway on 103<sup>rd</sup> Avenue NE shall have an approach width of 30 feet, as defined in standard drawing SW-150-1. The driveway apron design shall be consistent with standard drawing SW-150-1 or equivalent.
3. A combined street tree and street light plan is required for review and approval prior to completion of engineering and landscape plans. The goal is to provide the optimum number of street trees while not compromising the light and safety provided by streetlights. Street trees and streetlights must be shown on the same plan sheet with the proper separation (generally 25 feet apart) and the proper spacing from driveways (ten feet from Point A in standard drawing SW-140-1 or equivalent).
4. The design and appearance of the sidewalk and landscaping on NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE shall comply with the standards and drawings in the Transportation Department Design Manual. The sidewalk shall be constructed of standard concrete with a broom finish and a two-foot by two-foot score pattern, with a five-foot wide planting strip, unless both the Transportation Department and the Development Services Department agree to accept any non-standard pattern, color, or other

features.

Any non-standard features or vegetation shall not create a sight obstruction within any required sight triangle, shall not create a tripping or slipping hazard in the sidewalk, and shall not create a raised fixed object in the street's clear zone. The materials and installation methods must meet typical construction requirements. See section on Alternative Paving Materials for further details.

If the developer requests alternative paving materials, samples must be submitted for review. If approved, any non-standard patterns, colors, or other features may be installed only if an agreement is recorded against the property to hold the landowners responsible for maintenance and replacement of all such non-standard sidewalk features.

5. The new landscaping planter strip within the sidewalk along NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE shall be irrigated with a private metered water source. Electrical connections for lighting in planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk. Installation of the proposed planter shall include a spray irrigation system, soil preparation, root barrier and plantings. Root barrier and soil preparation are described in Standard Drawings SW-120-1 and SW-130-1. Landscaping in the right-of-way shall be maintained by the abutting property owner(s) unless maintenance has been accepted by the city.
6. The Americans with Disabilities Act (ADA) requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations.

ADA also requires provision of a safe travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Any planter boxes installed in the sidewalk to improve pedestrian sight distance at driveways must be designed to reduce the tripping potential and must not extend more than two feet into the public sidewalk. Traffic signal controller boxes and streetlight contactor cabinets must be located so as not to interfere with the main pedestrian path. Buildings shall be designed so that doors do not swing out into the pedestrian path. Installation of colored or textured bands to guide pedestrians in the direction of travel is advisable, subject to the requirements for non-standard sidewalk features. ADA-compliant curb ramps shall be installed where needed, consistent with City and WSDOT standard drawings. If such standards cannot be met, then deviation from standards must be justified on a Design Justification Form to be filed with the Transportation Department.

7. No new building structure or garage shall be constructed under a street right of way or existing public sidewalk/utility easement. No soil nailing is allowed under a street right of way or sidewalk/utility easement without an indemnification agreement that protects the city.
8. Any awning, marquee, balcony, etc. over a sidewalk or utility easement must be at least 16 feet above the sidewalk or be removable (with an agreement regarding removal and replacement); and must have at least three feet horizontal clearance from any streetlight or traffic signal pole.

9. To the extent feasible, no new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk. To the extent feasible, no utility vaults may be located within the primary walking path in any sidewalk.
10. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing SW-150-1 or equivalent. Fixed objects are defined as anything with breakaway characteristics greater than a four-inch by four-inch wooden post.
11. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.
12. The applicant is required to coordinate mailbox location with the Bellevue Postmaster and show the mailbox location on the engineering plans.

#### **Easements**

The applicant shall provide sidewalk and utility easements to the City on NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE as needed to encompass the full required width of any sidewalks located outside the city right of way fronting this site. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

Phase 1 provided a 0.5-foot-wide easement along the 103<sup>rd</sup> Avenue NE frontage for sidewalk maintenance.

Phase 2 will provide an easement to the back of sidewalk on 103<sup>rd</sup> Avenue NE and NE 10<sup>th</sup> Street such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area. **Refer to Conditions of Approval regarding Existing Easements and Sidewalk/Utility Easements in Section XI of this report.**

#### **Right of Way Dedication**

To incorporate street improvements which are reasonably necessary to mitigate the direct results of the development, and to accommodate the street widening described elsewhere in this document, the developer is required to dedicate property such that street surface to back of curb is accommodated within the public right of way.

Phase 1 did not require any dedication of Right of Way to accommodate any street improvements.

Phase 2 will require the vehicle pullout area to the back of curb on NE 10<sup>th</sup> Street to be dedicated to the City. **Refer to Condition of Approval regarding Dedication of Right of Way in Section XI of this report.**

#### **Holiday Construction & Traffic Restrictions**

From November 15<sup>th</sup> to January 5<sup>th</sup>, construction activities such as hauling and lane closures will be allowed only between the hours of 10:00 p.m. and 6:00 a.m. due to holiday traffic. The dates and times of these restrictions are subject to change. The applicant shall contact the Transportation Department Right-of-Way Section to confirm the specifics of this restriction prior to applying for a Right-of-Way Use Permit. **Refer to Condition of Approval regarding Holiday Construction & Traffic Restrictions in Section XI of this report.**

#### **Use of the Right of Way During Construction**

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such

activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit. **Refer to Condition of Approval regarding Right-of-Way Use Permit in Section XI of this report.**

**Pavement Restoration.**

Near this project, NE 10<sup>th</sup> Street has been classified as a "Concrete Road". Should street cuts prove unavoidable or if the street surface is damaged in the construction process, replacement of the entire 10-inch thick concrete panel or panels will be required per Design Manual Drawing RC-210-1. Details of any trench restoration must be shown on the engineering plans. **Refer to Condition of Approval regarding Pavement Restoration in Section XI of this report.**

**Transportation Management Program**

In order to reduce single occupant vehicle trips and provide enhanced options to employees and infrastructure users, the City has adopted code provisions for a transportation management program. The owner of this development shall, prior to any initial occupancy of the building structure, sign and record an agreement approved by the City of Bellevue to establish a transportation management program to the extent required by BCC14.60.070. and 14.60.080. This project proposes to construct a total of 330 new multi-family units, which requires the developer to post up-to-date commuter information in a visible central location according to the requirements specified in the TMP Implementation Guidelines, and to provide periodic reports describing the implementation of the TMP provisions. **Refer to Condition of Approval regarding Transportation Management Program and Implement the Transportation Management Program in Section XI of this report.**

**Right-of-Way Use for Residential Balcony Intrusion**

The applicant shall work with the City's Transportation Department to determine the process by which the Phase 2 residential balconies may be allowed to intrude into the 103<sup>rd</sup> Avenue NE right-of-way. **Refer to Condition of Approval regarding Right-of-Way Use for Residential Balcony Intrusion in Section XI of this report.**

**B. Utilities**

**Storm Drainage**

The project is required to mitigate for all nine minimum requirements per the Department of Ecology Stormwater Management Manual for Western Washington. The project does not trigger Minimum Requirement #6 Runoff Treatment or Minimum Requirement #7 Flow Control. The project proposes to route all stormwater runoff to a new catch basin at the southeast of the property connecting into the existing public storm system.

**Water**

The water supply for this project will connect to an existing City of Bellevue 8" D.I. water main located in 103<sup>rd</sup> Ave NE. A 4" water meter is proposed for the new building. The existing 1" water meter will be reused for irrigation. A 6" fire line is proposed for the new building. The existing fire hydrant off NE 10<sup>th</sup> Street is proposed to be abandoned and a new fire hydrant off NE 10th Street is proposed.

**Sewer**

The existing sewer connection will either be reused for the water feature drainage or abandoned back to the main. An 11-foot sewer main extension and manhole is proposed off the sewer main to the northeast in 103<sup>rd</sup> Ave NE. The building will be connected to the new manhole via a new 8" sewer connection. **Refer to Condition of Approval regarding Preliminary Design, Codes and Utility Standards and in Section XI of this report.**

**C. Clearing and Grading**

The Clear and Grade reviewer has reviewed the plans and materials submitted for this project and has determined that the clearing and grading portion of this land use application can be approved. The future Clearing and Grading Permit application for this development must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76).

**D. Fire Department**

The Bellevue Fire Department Fire Prevention Division has reviewed the submittal in accordance with the 2015 International Fire Code, 2015 International Building Code, City of Bellevue requirements, and good fire protection practices. This review was based upon, and limited to, the information presented on drawings and/or materials received in our office. The Fire Department can approve the application, subject to the following conditions: **Refer to Conditions of Approval regarding Fire Sprinkler/Standpipe, Fire Alarm Monitoring, Emergency Responder Radio System, Smoke Control System and Firefighter Air Replenishment System in Section XI of this report.**

**E. Building**

The plans for Design Review have not been sufficiently developed for a thorough review under the 2015 International Building Code, including amendments to this Code made by the Washington State Building Code Council (available online) and City of Bellevue amendments (available online). This review will occur during the actual building permit plan review of the building plans. The plans generally conform to the requirements applicable to this stage of the design process. Plans submitted for building permits must conform to the most recent building code adopted by the City of Bellevue.

**VII. STATE ENVIRONMENTAL POLICY ACT (SEPA)**

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal (see Environmental Checklist in the project file at City Hall Records Office). Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements with the incorporation by reference of the 2016-2027 Transportation Facilities Plan Final Environmental Impact Statement (TFP EIS) Addendum. Specifically, regarding the 2016-2027 TFP, it was determined that a new Addendum to the 2013-2024 TFP EIS would adequately address the required review under SEPA. These documents analyze the transportation and air quality impacts of the City's Transportation Commission recommendations to meet the Comprehensive Plan, Transportation Element, and Mobility Management goals. The Transportation Facilities Plan was subsequently adopted December 7, 2015 via Resolution 9032. All referenced documents above are available in the Records Office at City Hall.

This section of the staff report is an addendum to the adopted EIS referenced above. Adverse impacts which are less than significant are usually subject to City Code or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code Section 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process. A discussion of the impacts is noted below together with specific conditions of approval. **These impacts will be mitigated through exercise of Code authority as well as through project-specific Conditions of Approval in Section XI of this report.**

**A. Land Use/Environmental Health/Noise**

**Construction Noise:** While construction noise and increased vehicle trips are expected during the construction period, the Bellevue Noise Control Ordinance, BCC 9.18, regulates hours of construction-related noise emanating from the site. The Ordinance provides for an exemption from the noise restrictions for the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. on Saturdays which are not legal holidays. Therefore, no specific measures to reduce noise during this period are

proposed.

Prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding residential properties during the proposed timeline for construction. The Director, as outlined in the Noise Control Ordinance, may grant an approval to expand the hours for which construction-related noise emanates from the site subject to meeting the criteria of BCC 9.18.020.C.1&2. Allowances for short term work outside of normal construction hours shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. **Refer to Condition of Approval regarding Use of Best Available Noise Abatement Technology and Construction Hours in Section XI of this report.**

**Construction Vehicle Pollution:**

To mitigate for air pollution generated by construction vehicles while transporting materials to and from the site, all construction vehicles will be required to cover their loads per the requirements of the Revised Code of Washington (RCW) 46.61.655. **Refer to Condition of Approval regarding Air Pollution from Construction Vehicles and Equipment in Section XI of this report.**

**Interior Noise:** Bellevue City Code, 9.18, prohibits the approval of new residential structures where the exterior noise level exceeds Ldn (day-night average sound level) of 65 dBA anywhere along the site boundary, unless the construction can achieve *interior* noise levels of 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. *Prior to the issuance of any building permit*, the applicant must submit an Acoustical Engineer's report on the proposed construction and the anticipated maximum noise thresholds inside the units facing a street frontage. Before any occupancy permits are issued, the noise levels must be measured inside a random sample of the residential units and the report revised to reflect the results. If the actual noise levels exceed the maximum required thresholds, the acoustical report must include recommendations to modify the construction to meet the interior noise thresholds. **Refer to Conditions of Approval regarding the Acoustical Engineer's Report and Interior Noise Levels in Section XI of this report.**

**Garage Exhaust:** Exhaust fans blowing air over a sidewalk or pedestrian connection can create noise levels exceeding that allowed by the City Code. This decision requires certification that the garage exhaust fan noise will not exceed 60 dBA at the public sidewalk prior to the issuance of any Certificate of Occupancy. **Refer to Condition of Approval regarding Garage Exhaust in Section XI of this report.**

**B. Earth**

There are no critical areas associated with this site.

**C. Utilities**

The development proposed for this application has been reviewed on a conceptual basis and can feasibly construct water, sewer and storm facilities under current utility codes and standards without requesting modifications or deviations from them. Major changes to the design may cause delay in approval of future utility construction permits.

**D. Transportation**

**Long Term Impacts and Mitigation**

The long-term impacts of the Mira Phase 1 and 2 Master Development Plan were reviewed to determine mitigation requirements for the cumulative transportation impacts of the development as a whole. Project impacts from the MDP anticipated to occur in the next eleven years were assessed through a horizon model analysis. The Mira Phase 1 and Phase 2 development is expected to generate approximately 135 new p.m. peak hour trips. City staff distributed and then assigned the project-generated trips to the street network using the City's EMME-2 travel 2030 forecasting model. By adding the expected project-generated trips to the traffic volumes in the model, the area average levels of

service were determined. To create a baseline condition for comparison, the levels of service were also determined using traffic volumes without the project-generated trips. In this project analysis with the project-generated trips, 6 system intersections received 20 or more p.m. peak hour trips.

Neither the maximum area-average levels of service nor the congestion allowances would be exceeded as a result of traffic generated from this proposal.

Phase 1: The long-term impacts of Phase 1 were reviewed under the Phase 1 design review. At the time of approval, the current Transportation Facilities Plan EIS was adopted in 2013 and addressed impacts of development to occur by 2024. Phase 1 proposed an increase of 175 Multi-Family units in MMA #3, which was within the projected growth of 5,569 units.

Phase 2: The long-term impacts of the Phase 2 development projected to occur in the City by 2027 have been addressed in the City's 2016 – 2027 Transportation Facilities Plan FEIS Addendum. The impacts of growth that are projected to occur within the City by 2027 are evaluated on the roadway network assuming that all the transportation improvement projects proposed in the City's 2016 - 2027 Transportation Facilities Plan are in place. The Transportation Facilities Plan EIS divides the City into several Mobility Management Areas (MMAs) for analysis purposes. Mira Phase 1 and 2 lies within MMA #3, which has a 2027 total growth projection of 4,645 Multi-Family units, 1,595,183 square feet of retail space, and 694,200 square feet of Other use space. The Phase 2 development proposes 150 Multi-Family units, 2,000 square feet of restaurant space, and 3,379 square feet of retail space. Therefore, the volume of proposed development is within the assumptions of the Transportation Facilities Plan FEIS Addendum.

Traffic impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by BCC 22.16, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply.

Traffic impact fees for Mira Phase 1 were paid at the time of the building permit issuance.

Traffic impact fees for Phase 2 are required to be paid at the time of building permit issuance. **Refer to Condition of Approval regarding Transportation Impact Fee in Section XI of this report.**

#### **Mid-Range Impacts and Mitigation**

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained.

Phase 1: Concurrency analysis for Phase 1 was completed in May 2013. A trip generation of 78 new p.m. peak hour trips was used to check for concurrency. Credit for the existing Manufacturing/Light Industrial use was applied. City staff distributed and then assigned project-generated trips to the street network using the City's EMME-2 travel forecasting model with the current Capital Investment Program network. By adding the expected project-generated trips to the traffic volumes in the model, the area average levels of service were determined. To create a baseline condition for comparison, the levels of service were also determined using traffic volumes without the project-generated trips.

Neither the maximum area-average levels of service nor the congestion allowances were exceeded as a result of traffic generated from this proposal. Therefore, this development passed the concurrency test. The concurrency test results are included in the Transportation Department file for that development. A concurrency determination was issued on the date of issuance of the land use decision. This project complied with the Traffic Standards Code and received a Certificate of Concurrency.

Phase 2: The Phase 2 development will generate approximately 59 new p.m. peak hour trips. That number was used to check for Phase 2 concurrency. City staff distributed and then assigned project-generated trips to the street network using the City's EMME-2 travel forecasting model with the current Capital Investment Program network. By adding the expected project-generated trips to the traffic volumes in the model, the area average levels of service were determined. To create a baseline condition for comparison, the levels of service were also determined using traffic volumes without the project-generated trips. In this project analysis, 2 system intersections received 20 or more p.m. peak hour trips.

Neither the maximum area-average levels of service nor the congestion allowances would be exceeded as a result of traffic generated from this proposal. Therefore, the proposed development passes the concurrency test. The concurrency test results are included in the Transportation Department file for this development. A concurrency determination is issued on the date of issuance of the land use decision. This project complies with the Traffic Standards Code and is receiving a Certificate of Concurrency.

#### **Short Term Operational Impacts and Mitigation**

Phase 1: City staff directed the applicant's traffic consultant, Transpo Group, to analyze the short-term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Issues that were analyzed included pedestrian and vehicle sight distance, loading area for garbage and deliveries, alignment of access locations, adequate clearance for safe thoroughfare for post office vehicles from the neighboring site, and frontage improvements to facilitate safe pedestrian movements adjacent to the site. All transportation concerns mentioned were addressed by City staff with appropriate mitigation measures required of the developer so that this project complies with all City codes and standards as feasibly possible.

Phase 2: City staff directed the applicant's traffic consultant, Transpo Group, to analyze the short-term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Issues that were analyzed included pedestrian and vehicle sight distance, loading area for garbage and deliveries, short term parking area, frontage improvements to facilitate safe pedestrian access. All transportation concerns mentioned were addressed by City staff with appropriate mitigation measures required of the developer so that this project complies with all City codes and standards as feasibly possible.

### **VIII. CHANGES TO THE PROPOSAL DUE TO STAFF REVIEW**

#### **A. Site Design (Phase 1 & Phase 2)**

- A 107-ft long free-standing canopy along the 103rd Avenue NE street frontage of Phase 1 was added to comply with weather protection standards in LUC 20.25A.170.B.4.b.2
- The 4-ft wide planter strip along the 103rd Avenue NE street frontage in front of the Phase 1 building was widened by 1 ft (to 5-ft wide) to comply with the standards in LUC 20.25A.090.B.
- The configuration and design of the Outdoor Plaza evolved through a series of alternatives the applicant submitted for review as a request for an Administrative Departure as described in Section 21 of this report.
- The trash/recycle loading area in the Phase 2 building was revised to comply with Land Use and Transportation standards.

#### **B. Building Design (Phase 2)**

- A retail space was added at the southwest corner of the residential lobby to comply with "C"- street-frontage standards in LUC 20.25A.170.B.3.b.v to provide a minimum of 50% of Active Uses along the street wall.
- A canopy was added along the NE 10<sup>th</sup> Street frontage to comply with "C"- street-frontage standards in LUC 20.25A.170.B.3.b.v to provide a minimum of 75% of weather protection along the street wall.

- The interior stair and elevator along were revised to be a publicly accessible exterior stair and elevator to comply with the standards of LUC 20.25A.170.D for Upper Level Active Uses.
- The exterior entrance and configuration of the Upper Level Active Use space was revised to comply with the standards of LUC 20.25A.170.D for Upper Level Active Uses.
- Residential balconies located on the north façade of the tower were revised to comply with the 20-ft setback from the north parcel boundary between Phase 2 and Phase 1.

## IX. DECISION CRITERIA

### A. Master Development Plan Approval (LUC 20.30V.150) – Phase 1 and 2

The Director may approve or approve with modifications an application for a Master Development Plan if:

#### 1. *The proposed Master Development Plan is consistent with the Comprehensive Plan; and*

**Finding:** Through the provision of the outdoor plaza, adjoining active uses and pedestrian weather protection, and the upgrades to the existing Phase 1 streetscape, the MDP proposal meets the intent of Comprehensive Plan policies UD-12, UD-34 and DT-35, which support development that “enhances a safe, active and connected pedestrian environment” with “a sense of activity, enclosure and protection”. The proposal also meets the intent of policy UD-11 to “develop mixed-use areas considering scale, traffic and land use”. The two buildings within the project limit are each scaled to respond to adjacent development intensity, with the 6-story Phase 1 building (constructed) responding to the lower building height limit in the Downtown Residential (DT-R in Perimeter B-1 overlay) to the north, while the height and scale of the Phase 2 building (proposed) will be consistent with existing development (the Avalon Towers) and projected development along NE 10<sup>th</sup> Street. Vehicular access to the site for parking and service for both the Phase 1 and proposed Phase 2 buildings will continue to be provided from 103<sup>rd</sup> Avenue, which is a dead-end street and has a significantly lower traffic volume than NE 10<sup>th</sup> Street. **Refer to Attachment B – Comprehensive Plan Policies for a list of policies that are applicable to, and provide support for, this project.**

#### 2. *The Master Development Plan complies with the applicable requirements of this Code; and*

**Finding:** The proposal complies with applicable requirements of the Land Use Code. The Phase 1 project will be brought into compliance with the site development standards of the current Downtown Code, either through proposed modifications by the applicant as discussed in Section III.C, or through approved Administrative Departure requests as discussed in Section III.G.

#### 3. *The proposed Master Development Plan addresses all applicable standards, guidelines or criteria of this Code in a manner which fulfills their purpose and intent; and*

**Finding:** As conditioned, the proposal addresses all applicable design guidelines and criteria of this Code. Refer to **Section IV** of this report for discussion relating to how the applicable design guidelines have been met.

#### 4. *The Master Development Plan depicts features of and relationships and connectivity between required site features for the underlying Land Use District.*

**Finding:** As conditioned, the project depicts site features such as weather protection, active uses and open space (outdoor plaza) that relate to and connect with pedestrians along 103<sup>rd</sup> Avenue NE and NE 10<sup>th</sup> Street, thereby complying with required site features of the DT-MU Perimeter B-2 district.

### B. Design Review (LUC 20.30F.145) – Phase 2

The Director may approve, or approve with modifications, an application for Design Review if:

#### 1. *The proposal is consistent with the Comprehensive Plan, and*

**Finding:** The Phase 2 residential project (the building) is consistent with the applicable policies of the

Comprehensive Plan through its site organization, provision of pedestrian amenities and design attributes. In addition to the outdoor plaza as described above, the building's street frontage along will include a planting strip that extends the landscaping pattern of Phase 1, thereby enhancing the pedestrian environment beyond what would be required by Code. The building's location on the site will provide room for loading along the site's boundary with Phase 1 and will create a strong presence at the intersection of NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue. The building's scale and massing (podium and tower above) will be similar to existing development along NE 10<sup>th</sup> Street (the Avalon Towers project), and the exterior residential balconies will articulate the building's form. **Refer to Attachment B – Applicable Comprehensive Plan Policies for a list of Comprehensive Plan policies that are applicable to, and provide support for, this project.**

**2. *The proposal complies with the applicable requirements of this Code.***

**Finding:** As described in **Section III** of this report, the proposed building and site development will comply with all applicable requirements of the LUC except where Administrative Departures are requested for the following:

- Departure 1: Planter Strip
- Departure 2: Active Use
- Departure 3: Intrusion Over the Sidewalk
- Departure 4: Outdoor Plaza Size
- Departure 5: Exempt Active Use Weather Protection
- Departure 6: Build-to Line
- Departure 7: Compact Parking

**Refer to Section III.G for discussions of how each request meets the Departure Criteria in LUC 20.25A.030.D.**

**3. *The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfills their purpose and intent.***

**Finding:** As described in **Section IV** of this report, this proposal addresses and complies with all applicable design guidelines and criteria for Design Review proposal in the Downtown.

**4. *The proposal is compatible with, and responds to, the existing or intended character, appearance, and quality of development and physical characteristics of the subject property and immediate vicinity.***

**Finding:** The project will respond to its urban site by providing an outdoor plaza and adjoining active uses (restaurant and retail) within the plaza and along 103<sup>rd</sup> Avenue. The design of the building will fit contextually into the surrounding development due to massing, site design, and high-quality architectural design and detailing.

**5. *The proposal will be served by adequate public facilities including streets, fire protection, and utilities.***

**Finding:** As discussed in **Section VI** of this report, the project will be served by adequate public facilities, including streets, fire protection and utilities. **Refer to Conditions of Approval regarding Transportation, Fire and Utilities in Section XI of this report.**

**X. DECISION**

After conducting the various administrative reviews associated with the proposal, including applicable Land Use consistency, SEPA and City Code & Standard compliance reviews, the Director does hereby **APPROVE WITH CONDITIONS** the subject proposals.

**XI. CONDITIONS OF APPROVAL:**

**A. GENERAL CONDITIONS:**

**1. Compliance with Bellevue City Codes and Ordinances**

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including, but not limited to:

| <b>Applicable Codes, Standards and Ordinances</b> | <b>Contact Person</b>         |
|---|-------------------------------|
| Clearing & Grading Code – BCC 23.76               | Savina Uzunow, 425-452-7860   |
| Construction Codes – BCC Title 23                 | Violeta Tihova, 425-452-4259  |
| Fire Code – BCC 23.11                             | Glen Albright, 425-452-4270   |
| Land Use Code – BCC Title 20                      | Mark C. Brennan, 425-452-2973 |
| Environmental Procedures Code – BCC Title 22.02   | Mark C. Brennan, 425-452-2973 |
| Noise Control – BCC 9.18                          | Mark C. Brennan, 425-452-2973 |
| Sign Code – BCC Title 22                          | Mark C. Brennan, 425-452-2973 |
| Transportation Code – BCC 14.60                   | Ian Nisbet, 425-452-4851      |
| Transportation R.O.W. – BCC 11.70, 14.30, 14.60   | Tim Stever, 425-452-4294      |
| Utility Code – BCC Title 24                       | Mohamed Sambou, 425-452-4853  |

The following conditions are imposed on the applicant under the authority referenced:

**2. Construction Hours**

Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020C.1 when necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to noise created by extended hour construction activity would likely have a significant impact on the surrounding residents. In order to minimize detriment to nearby residential uses, the contractor shall not rely on City issuance of a blanket exemption from the Noise Control Code during the construction period. Allowances for short term work outside of normal construction hours shall be limited and will be reviewed on a case by case basis to verify necessity and ensure appropriate noise mitigation is utilized to protect surrounding uses and properties. Requests for exemption from the Noise Control Code must be submitted in writing two weeks prior to the scheduled onset of extended hour construction activity. Such request shall include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

AUTHORITY: Bellevue City Code 9.18.040

REVIEWER: Mark C. Brennan, Land Use

**3. Holiday Construction and Traffic Restrictions**

Construction activities such as hauling and lane closures between November 15<sup>th</sup> and January 5<sup>th</sup> may be restricted due to holiday traffic. The Transportation Department will be monitoring traffic and will enforce this restriction based on conditions present at the time of construction.

AUTHORITY: BCC 14.30.060

REVIEWER: Tim Stever, Transportation Department

**4. Design Review Modifications**

Any modification to this approval shall be processed as either 1) a new decision, or 2) an addition or revision to this issued land use approval processed as a Land Use Exemption. The applicant shall demonstrate compliance with the Land Use Code in effect at the time of issuance of this report. Any modification of the project design must be reviewed for consistency with the design intent as stated in this report. Conditions of Approval run for the life of the project.

AUTHORITY: LUC 20.30F.175

REVIEWER: Mark C. Brennan, Land Use

**5. Provisions for Loading**

The property owner shall provide an off-street loading space which can access a public street. This must include an off-street location for garbage pick-up, which must be acceptable to the garbage hauler. On-street loading and unloading will not be permitted.

AUTHORITY: LUC 20.20.590.K.4; BCC 14.60.180

REVIEWER: Mark C. Brennan, Land Use & Ian Nisbet, Transportation Department

**6. Use of Best Available Noise Abatement Technology**

The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

AUTHORITY: Bellevue City Code 9.18.020F

REVIEWER: Mark C. Brennan, Land Use

**7. Air Pollution from Construction Vehicles and Equipment**

Construction vehicles and heavy construction equipment shall emit the least amount of air pollution as possible. While on city streets, all construction vehicles shall meet the requirements of the Revised Code of Washington (RCW) 46.61.655 for covered loads.

AUTHORITY: State Environmental Policy Act, Bellevue City Code, 23.76, RCW 46.61.655

REVIEWER: Mark C. Brennan, Land Use

**8. Preliminary Design, Codes and Utility Standards**

Utility review has been completed on the preliminary conceptual information submitted at the time of this application. The review has no implied approvals for water, sewer and storm drainage components of the project. A developer extension agreement will be required to construct the fire line and fire hydrant along with individual sewer (UA) permits to connect the new building. Water, sewer and storm utilities will be reviewed and approved under the developer extension and individual side sewer permits. The applicant will be required to hand in a drainage report and storm water site plan with the Utility Developer Extension Agreement (UE) permit.

AUTHORITY: BCC Title 24.02, 24.04, 24.06

REVIEWER: Mohamed Sambou, Utilities

**B. PRIOR TO CLEARING AND GRADING PERMIT:**

The following conditions are imposed to ensure compliance with the relevant decision criteria and Code requirements and to mitigate adverse environmental impacts not addressed through applicable Code provisions. These conditions must be complied with on plans submitted with the Clearing & Grading or Demolition permit application:

#### **9. Right-of-Way Use Permit**

Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a. Designated truck hauling routes.
- b. Truck loading/unloading activities.
- c. Location of construction fences.
- d. Hours of construction and hauling.
- e. Requirements for leasing of right of way or pedestrian easements.
- f. Provisions for street sweeping, excavation and construction.
- g. Location of construction signing and pedestrian detour routes.
- h. All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access. The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

AUTHORITY: BCC 11.70 & 14.30

REVIEWER: Tim Stever, Transportation Department

#### **10. Civil Engineering Plans – Transportation**

Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit for Phase 2. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document.

All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans. Requirements for the engineering plans for Phase 2 include, but are not limited to:

- a) Installation of 7-foot-wide sidewalk, 5-foot-wide planter strip, and new curb and gutter along the NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE frontage.
- b) Widening of the existing loading area driveway to 30 feet wide.
- c) Installation of new mid-block crosswalk across NE 10<sup>th</sup> Street.
- d) Curb ramps, crosswalk revisions, and crosswalk equipment such as pushbuttons and RRFBs.
- e) Installation of a short-term vehicle pullout on NE 10<sup>th</sup> Street.
- f) Traffic signs and markings.
- g) Show any sidewalk easements necessary to cover the full 12 feet of sidewalk width.
- h) Curb, gutter, sidewalk, and driveway approach design. The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans as needed.
- i) Installation or relocation of streetlights and related equipment.
- j) Undergrounding of existing overhead utility lines, which should be coordinated with adjacent sites. Transformers and utility vaults to serve the building shall be placed inside the building or below grade, to the extent feasible.
- k) Sight distance. Show the required sight triangles and include any sight obstructions, including those off-site. Sight distance triangles must be shown at all driveway locations and must consider

all fixed objects and mature landscape vegetation. Vertical as well as horizontal line of sight must be considered when checking for sight distance.

- l) Landings on sloping approaches are not to exceed a 7% slope for a distance of 30 feet approaching the back edge of sidewalk. Driveway grade must be designed to prevent vehicles from bottoming out due to abrupt changes in grade.
- m) City standards for driveway widths range from 30 to 36 feet on arterial streets, and 26 to 30 feet for local streets. Driveway aprons must be constructed in accordance with Design Manual Standard Drawings.
- n) Location of fixed objects in the sidewalk or near the driveway approach.
- o) Trench restoration within any right of way or access easement.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Design Justification Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

AUTHORITY: BCC 14.60; Transportation Department Design Manual; Americans with Disabilities Act  
REVIEWER: Ian Nisbet, Transportation

#### **11. Final Landscape Plan for Outdoor Plaza**

- a) The final design for the outdoor plaza and the associated landscape plan must be submitted and constructed per the approved Clearing and Grading Permit. Any significant modification of this plaza will require review and approval.
- b) The approved outdoor plaza and associated landscape plans shall also be submitted under the Building Permit(s) and clearly labeled **“FOR REFERENCE ONLY – REFER TO CLEARING AND GRADING PERMIT 18-104372-GD FOR APPROVED DRAWINGS”**.

AUTHORITY: LUC 20.25A.030.C, 110.B and LUC 20.30.F.175  
REVIEWER: Mark C. Brennan, Land Use

#### **12. Street Trees and Right-of-Way /Streetscape Landscape Installation and Irrigation**

- a. **Street Trees and Right-of-Way /Streetscape Landscape Final Landscape and Irrigation Plans** shall be submitted with the Clearing and Grading Permit application for review by Clearing and Grading, Land Use, the Parks Department, and the Utilities Department.
  - i. Planting shall be done according to the Parks Department Best Management Practices and Design Standards in place at the time of construction.
  - ii. Prior to ordering, confirm cultivars of all street trees with City of Bellevue Parks Department. Contacts are: Tom Kuykendall, [tkuykendall@bellevuewa.gov](mailto:tkuykendall@bellevuewa.gov), 425-452-7924, or Merry Hearn, [MHearn@Bellevuewa.gov](mailto:MHearn@Bellevuewa.gov), 425-452-4100
  - iii. A Parks Department representative shall be on-site to inspect street trees **prior to planting AND at the time of planting** to observe the installation. Contact Parks Department Resource Management at (425) 452-6855 or the Parks Department contacts listed above at least 24 hours before planting to schedule the inspection.

**b. Right-of Way Irrigation**

- i. Right-of-Way: Any irrigation system for all landscaping within the City right-of-way will be on **a separate meter and controller** which can be accessed 24 hours a day by the City and shall remain separate from the on-site systems. The applicant will be required to construct the irrigation service line, setter and pay for the meter installation and associated connection charges for this meter.
- ii. The irrigation system shall include automatic operations and rain sensors to override the automatic cycle if needed. Coordinate the exact location with the Parks Department prior to irrigation installation and submit proof that the irrigation design for the right-of-way has been approved by the Parks Department prior to building permit issuance. If the irrigated area exceeds 500 square feet, then the landscape irrigation budgeting section of the Water Code applies.
- iii. Drip irrigation will **not** be allowed in the right-of-way planting strip. Schedule 40 irrigation pipe is required in the right-of-way and there shall be a minimum 4-inch diameter sleeves under all new sidewalks and driveways.
- iv. A private irrigation service line(s) is required for all on-site landscape areas. The Utilities Department is responsible for reviewing all irrigation designs.
- v. Electrical connections for lighting in tree wells or planter strips may be allowed, if installed in compliance with the electrical code and subjected to an electrical inspection. As-built drawings shall be submitted to the City of Bellevue Parks Department and Land Use. Irrigation devices and electrical components shall not create a tripping hazard in the sidewalk.
- vi. Parks Department Contacts: Tom Kuykendall, [tkuykendall@bellevuewa.gov](mailto:tkuykendall@bellevuewa.gov) or (425) 452-7925; or Merryrn Hearn, [MHearn@Bellevuewa.gov](mailto:MHearn@Bellevuewa.gov) or (425) 452-4100

AUTHORITY: LUC 20.25A.110, BCC 24.02.205, LUC 20.25A.060.A, LUC 20.20.520

REVIEWERS: Tom Kuykendall, Parks Department & Mark C. Brennan, Land Use.

**13. Tree Protection**

Submit a Tree Protection Plan under the Clearing and Grading Permit to demonstrate how the existing street tree on NE 10<sup>th</sup> Street will be protected during construction. Include Tree Preservation Detail Drawing #35 and the City of Bellevue Development Standards.

AUTHORITY: BCC 23.76 AND Bellevue Development Standards

REVIEWER: Mark C. Brennan, Land Use

**C. PRIOR TO BUILDING PERMIT:**

**The following conditions are required by City Code. Unless otherwise specified below, these conditions must be complied with on plans submitted with the Building Permit application:**

**14. Right-of-Way Use for Residential Balcony Intrusion**

The applicant shall work with the City's Transportation Department to determine the process by which the Phase 2 residential balconies may be allowed to intrude into the 103<sup>rd</sup> Avenue NE right-of-way.

AUTHORITY: BCC 14.30

REVIEWER: Mazen Wallaia, Transportation Department

**15. Transportation Impact Fee**

Payment of the traffic impact fee will be required at the time of building permit issuance. If multiple building permits will be issued, the impact fee will be tied to the primary above-ground permit. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply.

AUTHORITY: BCC 22.16

REVIEWER: Ian Nisbet, Transportation Department

**16. Building and Site Plans – Transportation**

The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

AUTHORITY: BCC 14.60.060; 110; 120; 150; 180; 181; 190; 240; 241

REVIEWER: Ian Nisbet, Transportation Department

**17. Existing Easements**

Any utility easements contained on this site which are affected by this development must be identified. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

AUTHORITY: Bellevue City Code 14.60.100

REVIEWER: Tim Stever, Transportation Department

**18. Sidewalk/ Utilities Easements**

The applicant shall provide sidewalk and utility easements to the City such that sidewalks outside of the City right of way along the property frontage are located within a pedestrian easement area.

AUTHORITY: Bellevue City Code 14.60.100

REVIEWER: Ian Nisbet, Transportation Department

**19. Dedication of Right-of-Way**

The applicant shall dedicate right of way to the City along the property frontage such that street improvements to the back of curb are located within the public right of way.

AUTHORITY: Bellevue City Code 14.60.090

REVIEWER: Ian Nisbet, Transportation Department

**20. Transportation Management Program**

The owner of the property being developed shall sign and record at the King County Office of Records and Elections an agreement to establish a Transportation Management Program to the extent required by Sections 14.60.070 and 14.60.080.

AUTHORITY: BCC 14.60.070; 080

Reviewer: Ian Nisbet, Transportation Department

**21. Mechanical Equipment, Equipment Screening, and Street Furniture**

- a. Show the location of each piece of mechanical equipment, including communication equipment such as satellite dishes, and demonstrate that screening is provided so that these items are not visible from adjacent streets, public sidewalks, or the surrounding buildings, AND
- b. No mechanical equipment (including power, telephone, traffic control, etc) shall be located in above ground cabinets in sidewalk areas within pedestrian pathways and walkways, including the public right-of-way. Such equipment shall be located in underground vaults, in the building, or substantially screened per the approval of Land Use/DSD. No new utility vaults that serve only one development will be allowed within a public sidewalk. Vaults serving a broader public purpose may be located within a public sidewalk.
- c. No permanent street furniture shall be located within the “pedestrian travel zone.”

AUTHORITY: Land Use Code 20.20.650, 20.25A.130

REVIEWER: Mark C. Brennan, Land Use

**22. Exterior Building Lighting**

The applicant shall submit a detailed design for all building exterior lighting. Lighting shall be contained to this site and not be permitted to spill-over to adjacent sites. In addition, information on pedestrian-scaled lighting along 108<sup>th</sup> Avenue NE shall be supplied as well. All exterior building lighting is required to include cut-off shields to minimize impacts of light and glare.

AUTHORITY: LUC 20.25A.110.A.5a and b

REVIEWER: Mark C. Brennan, Land Use

**23. Garage Exhaust**

Provide certification by a noise consultant or mechanical engineer that the noise from the exhaust fans will not exceed 60 dBA and a determination by the City’s Mechanical Plans Examiner that the velocity and direction of airflows from the exhaust system will not adversely affect pedestrian comfort.

AUTHORITY: BCC 9.18.030 and LUC 20.30F.145

REVIEWER: Mark C. Brennan, Land Use

**24. Acoustical Engineer’s Report**

Prior to the issuance of a building permit the applicant must submit an acoustical engineer’s report on the proposed construction and the anticipated maximum noise thresholds inside residential units facing the street.

AUTHORITY: Bellevue City Code 9.18

REVIEWER: Mark C. Brennan, Land Use

**25. Street Level Glazing**

To ensure visibility from the sidewalk into the retail use spaces, clear (non-tinted, non-reflective) window glass shall be used. A sample of the glass shall be submitted to the Land Use Division of the Development Services Department for review and approval prior to building permit issuance.

The storefront windows for the commercial/service space shall not be obstructed with devices such as curtains, blinds, backs of display units, etc. to allow continuous visual access into the spaces.

AUTHORITY: LUC 20.25A.030.C.1, 20.15A.090.E and 20.30F.145

REVIEWER: Mark C. Brennan, Land Use

**26. Screening for Rooftop Mechanical Equipment**

All equipment shall be consolidated. All screening shall be visually integrated with the form and color of the building, and the equipment shall be screened from all sides (and from above). Screening from above shall be accomplished with a solid, non-reflective roof, which may incorporate louvers, vents or similar penetrations to provide the necessary ventilation or exhaust for the equipment being screened. Any rooftop structures to house mechanical equipment shall be the minimum size necessary.

AUTHORITY: LUC 20.20.525 and Comprehensive Plan Policy UD-8

REVIEWER: Mark C. Brennan, Land Use

**27. Amenity Designs and Statistics**

The building permit plans shall include a detailed design for each proposed amenity with a design component and a statistical summary for each amenity included in the building permit drawings.

AUTHORITY: LUC 20.25A.030

REVIEWER: Mark C. Brennan, Land Use

**28. Fire Sprinkler/Standpipe**

The proposed structures shall be provided with an automatic fire sprinkler system in accordance the International Fire Code as amended by the City of Bellevue. A permit for the fire system shall be obtained from the Fire Department prior to work commencing.

The structure shall be provided with a standpipe system as required by the International Fire Code. Submit revised plans indicating that deferred submittal will be provided.

AUTHORITY: IFC 903.2, IFC 905.3

REVIEWER: Glen Albright, Fire Review

**29. Fire Alarm/Monitoring**

A fire alarm system installed in accordance with the International Fire Code and NFPA 72 is required for this structure.

AUTHORITY: IFC 907.2

REVIEWER: Glen Albright, Fire Review

**30. Emergency Responder Radio System**

Approved radio coverage for emergency responders shall be provided with buildings meeting any of the following conditions:

1. There are more than five stories above grade plane (as defined by the International Building Code, Section 202);
2. The total building is 50,000 square feet or more;
3. The total basement area is 10,000 square feet or more;
4. There are floors used for human occupancy more than 30 feet below the finish floor of the lowest level of exit discharge.

Radio coverage is based upon the existing coverage levels of the public safety communication systems of the jurisdictions at the exterior of the building. This section shall not require improvements of the existing public safety communication system.

AUTHORITY: IFC 510.1

REVIEWER: Glen Albright, Fire Review

**31. Smoke Control System**

The structure shall be equipped with a smoke-control system as required by the International Building Code chapter 4. The Conceptual Smoke Control Submittal shall be approved prior to the issuance of any BB permits for this project. Requirements for both the Conceptual and Detailed Smoke Control Submittals can be found online in the Bellevue Fire Department Smoke Control Guidelines manual. Experience shows that the most successful projects utilize a Fire Protection Engineer early in a project to develop the smoke control concept, detailed design and maintain an active and integral role throughout the project. This individual is ideally the "Design Professional in Responsible Charge".

AUTHORITY: International Building Code chapter 4, Bellevue Fire Department Smoke Control Guidelines manual.

REVIEWER: Glen Albright, Fire Review

**32. Firefighter Air Replenishment System**

Firefighter Air Replenishment Systems shall be installed in all buildings classified by the International Building Code as a high-rise. Design criteria can be found in the City of Bellevue amendments to the International Fire Code.

AUTHORITY: International Building Code, City of Bellevue amendments to the International Fire Code.

REVIEWER: Glen Albright, Fire Review

**D. PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY: The following conditions are required by City Code and supported by City Policy. The conditions shall be complied with prior to issuance of the any Certificate of Occupancy:**

**33. Street Frontage Improvements**

All street frontage improvements and other required transportation elements, including street light and traffic signal revisions, must be constructed by the applicant and accepted by the Transportation Department inspector. All existing street light and traffic signal apparatus affected by this development, including traffic controllers, pedestrian signal poles, traffic signal poles, and power sources, must be relocated as necessary. Existing overhead lines must be relocated underground. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the City requires a delay.

AUTHORITY: BCC 14.60; Comprehensive Plan Policy UT-39; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings.

REVIEWER: Ian Nisbet, Transportation Department

**34. Implement the Transportation Management Program**

The Transportation Management Program required by Bellevue City Code Sections 14.60.070 and 14.60.080 per a condition of approval above must be functional prior to issuance of the initial certificate of occupancy.

AUTHORITY: BCC 14.60.070, 14.60.080

Reviewer: Ian Nisbet, Transportation Department

**35. Pavement Restoration**

Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be provided as follows:

- a) NE 10<sup>th</sup> Street: This street has been classified as a "Concrete Road". Should street cuts prove unavoidable or if the street surface is damaged in the construction process, replacement of the entire 10-inch thick concrete panel or panels will be required per Design Manual Drawing RC-210-1.

AUTHORITY: BCC 14.60. 250; Design Manual Design Standard #23

REVIEWER: Tim Stever, Transportation Department

**36. Recording: Solid Waste/Recycling Containers**

The applicant shall sign and record with King County an agreement that runs with the property which requires all recycling bins, refuse containers and similar items to be moved out of the building immediately prior to pick up by building staff, and moved back into the building immediately upon completion of pick-up. No trash containers will be allowed to remain in and/or block the public right-of-way.

AUTHORITY: Land Use Code 20.20.725

REVIEWER: Mark C. Brennan, Land Use

**37. Allocation of Parking for Retail, Restaurant and Residential Uses**

Prior to TCO, the applicant shall submit plans of the parking garage to Land Use, identifying the exact location of the parking stalls to be assigned to the retail and restaurant uses in the building and identify any conditions and restrictions for these spaces, including how they are to be monitored. All retail and restaurant use spaces shall be marked as such and all commercial parking spots must be available during regular business hours.

AUTHORITY: Land Use Code 20.25A.080

REVIEWER: Mark C. Brennan, Land Use

**38. Interior Noise Levels**

Interior noise levels inside residential units shall not to exceed 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. The project acoustical engineer shall document noise levels inside a random sample of the rooms and submit his/her findings to the City for review. If the noise levels exceed the required maximums, the City will require additional noise mitigation as necessary to achieve the maximum allowable levels prior to the issuance of any Occupancy Permit

AUTHORITY: Bellevue City Code 9.18.045

REVIEWER: Mark C. Brennan, Land Use

**39. Landscape Installation Assurance Device**

All site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the following may be submitted: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation and inspection approval.

AUTHORITY: Land Use Code 20.40.490

REVIEWER: Mark C. Brennan, Land Use

**40. Landscape Maintenance Assurance Device**

The applicant shall file with the Development Services Department a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit

equivalent to 20% of the cost of labor and materials for all of the required landscaping.

AUTHORITY: Land Use Code 20.40.490  
REVIEWER: Mark C. Brennan, Land Use

**41. Maintenance Agreement with the City of Bellevue**

After one-year, the landscape shall be inspected by Land Use and the Parks Department. Prior to the release of the Landscape Maintenance Assurance Device, the applicant and the City of Bellevue shall enter into an agreement to determine future maintenance responsibilities for the streetscape and streetscape plantings.

AUTHORITY: Land Use Code 20.20.520.K and 20.40.490  
REVIEWER: Mark C. Brennan, Land Use

**42. Recording of Amenities and Exempt Active Use Space in Perpetuity:**

After final review and approval by Land Use, the applicant shall record a copy of the following with the King County Office of Records and Elections:

- a. A signed statement on Owner's letterhead stating that 100% of the exempt Active Use space shall remain in perpetuity
- b. Final, approved bonus point calculations (Tables 2, 3 and 4 in Section III of this report), including any modifications made during building permit review and building construction and a revised FAR Worksheet for DNTN-MU Perimeter B-2 Overlay.
- c. Building plans identifying all amenities and square footage.
- d. Building plans identifying any square footage exempted from overall GFA for FAR.
- e. The Conditions of Approval for this Design Review.

AUTHORITY: LUC 20.25A.020.D3, LUC 20.25A.030.D and 20.30F.145  
REVIEWER: Mark C. Brennan, Land Use

**43. Documentation of the Value of Sculpture (or Water Feature)**

Prior to any CO, the applicant shall provide documentation of the \$40,000 cost or appraised value of the water feature as shown on Table 4 - FAR Amenities in Section III of this report and on the FAR Worksheet.

AUTHORITY: LUC 20.25A.030.D  
REVIEWER: Mark C. Brennan, Land Use

**E. PRIOR TO ISSUANCE OF ANY SIGN PERMITS**

**44. Signage**

This Design Review approval addresses the *conceptual* design of signage only and does not include approval of the design of any specific sign(s). Design review of each sign and compliance with the sign Code will occur through review of each Sign Permit application.

- a) All signage shall be pedestrian oriented.
- b) The projected images on the building soffit may not include any project signage.
- c) The sign package plans, elevations, and/or sketches shall include but are not limited to:
  - Location, illumination, color & materials and design (no cabinet or freestanding signs allowed).

AUTHORITY: LUC 20.25A.110, LUC 20.30F, BCC 22B.10.025.B.4 and 10.030  
REVIEWER: Mark C. Brennan, Land Use

# **ATTACHMENT A**

## **2019 DOWNTOWN DESIGN GUIDELINES**

## DOWNTOWN DESIGN GUIDELINES

Provide a written response to each Standard/Guideline.

Refer to Land Use Code (LUC) for complete wording and requirements at:

<http://www.codepublishing.com/WA/Bellevue/#!/LUC/BellevueLUCNT.html>

| LUC GUIDELINE  | NARRATIVE REGARDING HOW EACH APPLICABLE STANDARD and/or GUIDELINE HAS BEEN MET |
|--|--|
| <b>LUC 20.25A.150 – CONTEXT</b>  |  |
| <b>Relationship to Height and Form of Other Development – LUC 20.25A.150.A</b>   |  |
| <b>2. Guidelines</b> <ul style="list-style-type: none"><li>a. Architectural elements enhance area's overall character</li><li>b. Locate building away from lower intensity land use districts</li><li>c. Minimize off-site impacts</li><li>d. Incorporate architectural elements proportionate to size of building</li><li>e. Use forms, proportions, etc. that are suggested by and complement adjacent buildings.</li></ul>  |  |
| <b>Response:</b> <ul style="list-style-type: none"><li>a. Building materials selected are appropriate for highrise residential construction and expressive of this custom design signature of luxury homes within the downtown core area.</li><li>b. The building is appropriate for the City's desired density and scale for NE 10<sup>th</sup> Street and commensurate with other developments within one block of the site.</li><li>c. The dead end 103<sup>rd</sup> Avenue NE is used to access loading and parking entrances, leaving through-traffic flow on NE 10<sup>th</sup> Street unencumbered.</li><li>d. The street scale is proper for sheltering pedestrians and visitors against weather and for businesses fronting the ROW. Unit windows express the individual homes and create a patterned façade unique on four sides.</li><li>e. The building massing of podium-shaft-top presents a logical and well proportioned project that is friendly with and complementary to the existing architectural language along NE 10<sup>th</sup> Street.</li></ul> |  |
| <b>Relationship to Publicly Accessible Open Spaces – LUC 20.25A.150.B</b>  |  |
| <b>2. Guidelines</b> <ul style="list-style-type: none"><li>a. Preserve &amp; maximize solar access</li><li>b. Enhance user's experience of adjacent public open space</li></ul>  |  |
| <b>Response:</b> <ul style="list-style-type: none"><li>a. The south-facing open space with high ceiling creates an open and weather-protected zone much coveted in this climate. The building shape and placement sets the tower shaft back from property edges in a compact shape, unobtrusively providing four compass point views of the city and surrounding neighborhoods.</li><li>b. The design meets the intent to provide an area of respite and enjoyment. Food and drink establishments are planned adjacent to seating areas complemented by appropriate plant species, the sounds of water, and a high level of material finishes. The south edge of the open plaza is framed by monumental columns, creating an environment of covered shelter open to the views and activities of the City.</li></ul>  |  |
| <b>Relationship to Transportation Elements – LUC 20.25A.150.C</b>  |  |
| <b>2. Guidelines</b> <ul style="list-style-type: none"><li>a. Create logical connections</li><li>b. Coordinate service and parking access</li></ul>  |  |
| <b>Response:</b> <ul style="list-style-type: none"><li>a. NE 10<sup>th</sup> Street (primary exposure) is adjacent to the residence entry, creating the proper identity for visitors to this significant project. Visitors to the site have visual access to the primary retail space from all portions of the frontage and secondary street. The access to the second level is properly identified as an entry point to business and to parking from the street.</li></ul>  |  |

- b. A large (2500 sf) service yard from the secondary street is shared with a neighboring property. Parking access is via the northern corner of the Phase 1 property. A drop off area is provided at the curb at the main project entrance.

#### **Emphasize Gateways – LUC 20.25A.150.D**

##### **2. Guideline**

- a. Use architectural & landscape elements to emphasize gateways

##### **Response:**

- a. A two-story colonnade is the transition point from the residence interior to the public way. The grand scale transitions the street activity with the residence, creating a sheltered public amenity that supports the residents' and visitors' planned and spontaneous use.

#### **Maximize Sunlight on Surrounding Area – LUC 20.25A.150.E**

##### **2. Guidelines**

- a. Evaluate alternative placement & massing concepts to ensure sunlight & sky view
- b. Maximize sunlight and sky view in adjacent developments/streetscape
- c. Maximize size of shadows & length of time cast on pedestrians

##### **Response:**

- a. A full south orientation and tall opening ensure the most sun exposure for this public space. Several alternatives were presented to the City, resulting in this selection by City planners.
- b. The building is properly sited at the adjacent street frontages and the tower shaft is smaller than the code allowed area.
- c. Narrow building dimensions afford neighboring sites the most solar access during the day.

## **LUC 20.25A.160 - SITE ORGANIZATION**

#### **On-Site Circulation – LUC 20.25A.160.B**

##### **2. Guidelines**

- a. Site Circulation for Servicing & Parking
- b. On-Site Passenger & Guest Loading Zones, Porte Cocheres, & Taxi Stands
- c. Pedestrian & Cycling Connections

##### **Response:**

- a. Service areas are remote from the primary retail and residential areas. Parking access is extremely remote, located at the north end of the neighboring parcel. Vehicle separation from pedestrians at the building podium is ideal.
- b. A drop off zone is provided adjacent to the main residential entry and the Open Plaza. As NE 10<sup>th</sup> Street is small in scale the nearby mid-block crosswalk provides good connection to all other circulation originating across the street.
- c. Bicycle access to the garage is via a well-identified elevator fronting on 103<sup>rd</sup> Avenue NE, directly adjacent to the ground-level retail entrance and the second-level retail glass enclosed staircase.

#### **Building Entrances – LUC 20.25A.160.C**

##### **2. Guidelines**

- a. Ensure primary building entrance front onto major public streets & are visible, defined & accessible.

##### **Response:**

- a. The primary building entrance appropriately fronts onto NE 10<sup>th</sup> Street, is an identifiable focal point in the public plaza, and is of course accessible.

#### **Through-Block Connections – LUC 20.25A.160.C**

##### **3. Standards**

- a. Location
- b. Proportionate Share
- c. Hours
- d. Legal Agreement
- e. Signage

**Response:**

**N/A**

**4. Guidelines**

- a. *Form logical routes*
- b. *Offer diversity in activities & pedestrian amenities*
- c. *Incorporate design elements to identify through-block pedestrian connection as public space*
- d. *Accentuate & enhance access to through-block pedestrian connection*
- e. *Identify the connection as public space*
- f. *Provide pedestrian-scaled lighting*
- g. *Provide high-quality design & materials*
- h. *Provide landscape to define/animate the space*
- i. *Incorporate trees & landscaping to provide enclosure & soften*
- j. *Use artistic elements & water features*
- k. *Provide ADA access*
- l. *Provide weather protection*
- m. *Develop as walkway or a combination walkway & vehicular lane*
- n. *Incorporate decorative lighting/seating areas*
- o. *Be visible from surrounding spaces & uses*

**Response:**

**N/A**

**Open Space – LUC 20.25A.160.E**

**2. Guidelines**

- a. *Capitalize on elements of natural environment, planned parks, outdoor plazas, & open space*
- b. *Orient gathering places & walkways toward parks & open space*
- c. *Include elements that engage the natural environment*
- d. *Locate building to take advantage of adjacent open spaces*
- e. *Create attractive views & focal points*
- f. *Use open space to provide through-block pedestrian connections*
- g. *Encourage year-round use*
- h. *Define and animate the edges of public open space*
- i. *Provide ADA access*
- j. *Provide weather protection*
- k. *Use artistic elements & water features*
- l. *Use high quality, function, & environmentally sustainable design element*
- m. *Maximize safety and comfort*
- n. *Provide electrical hookups & areas for staging events*
- o. *Avoid vehicular activities in open space*
- p. *Employ decorative lighting*

**Response:**

*(Please also see the attached Outdoor Plaza Narrative)*

- a. *A new Outdoor Plaza will provide a landmark south-facing space, protected from weather and adjacent to services.*
- b. *Dining spaces, fitness areas, and retail areas hug the perimeter of the open space.*
- c. *A water feature and several hundred square feet of planting enliven the space.*
- d. *The residential entry is in an ideal location to provide a reciprocal relationship with the open space.*
- e. *Outstanding southern exposure provides a direct connection to the neighborhood street.*
- f. *Circulation from the plaza is accommodated in each direction.*
- g. *The plaza is uniquely situated to provide a year-round amenity in virtually all weather conditions.*
- h. *The south plaza edge is defined by an iconic three-column colonnade.*
- i. *ADA access is provided.*
- j. *Ample weather protection is provided.*
- k. *Artistic elements & a water feature are incorporated.*
- l. *High quality & environmentally sustainable design elements are selected.*
- m. *Safety and comfort are maximized through level surfaces and sturdy seating elements*
- n. *Electrical hookups & areas for staging events have been considered*

- o. *No vehicles are permitted*
- p. *Decorative lighting is intrinsic in the plaza design.*

## **LUC 20.25A.170 - STREETSCAPE AND PUBLIC REALM**

### **Streetscapes – LUC 20.25A.170.A**

#### **1. Define the Pedestrian Environment**

##### *Guidelines*

- i. *Provide sense of enclosure & comfortable/continuous street edge*
- ii. *Provide transparent windows*
- iii. *Create visual interest on walls*
- iv. *Provide varied pedestrian experience on facades*
- v. *Provide weather protection.*
- vi. *Signs & lighting should complement pedestrian scale*
- vii. *Building edges shall maintain visual & physical connections to the sidewalk*

##### **Response:**

- i. *The existing surface parking area is to be replaced with a highly transparent building wall, establishing a building-to-street edge for the first time in the City's history. Significantly, the majority of the NE 10<sup>th</sup> Street frontage is designed as Outdoor Plaza, providing a monumentally scaled covered amenity area that serves adjacent street-front retail with northwest materials of wood and stone finishes, uniquely lighted. Street standard landscaped planting strips are provided on both NE 10<sup>th</sup> St and 103<sup>rd</sup> Ave. NE to complete the street edge improvements.*
- ii. *Transparent windows are provided.*
- iii. *Building walls are backdrops to plantings in some cases and are transparent connections to street retail spaces in others, in keeping with the vocabulary of this urban tower.*
- iv. *A 'varied pedestrian experience on facades' is an abstract phrase with no clear meaning. Since most of the building wall is retail frontage, the design expectation is that the more transparent the wall, the more enhanced the pedestrian experience will be, particularly if restaurant dining is present.*
- v. *Weather protection is provided in two ways along the street edge- by wall canopies and by building overhang.*
- vi. *Signs & lighting complement pedestrian scale as retail uses depend upon an inviting and interesting exposure to attract customers. The residents of the building will have new guests and deliveries in search of their lobby entrance at all possible hours so simple guidance is at the forefront of lighting and signage design considerations.*
- vii. *The building edges have visual & physical connections to the sidewalk except necessarily at the area of the Outdoor Plaza.*

#### **2. Protect Pedestrians from the Elements**

##### *Guidelines*

- i. *Provide weather protection*
- ii. *Weather protection shall be integral component of façade*
- iii. *Weather protection shall be in proportion to building & sidewalk*
- iv. *Weather protection shall provide sense of **enclosure** for pedestrians*
- v. *Use durable materials*
- vi. *Awnings & marquees coordinated with building design*
- vii. *Minimum height of awnings & marquees*
- viii. *Maximum height of awnings & marquees*
- ix. *Pavement below weather protection to provide drainage*
- x. *Weather protection to have horizontal orientation*
- xi. *Weather protection to follow pattern of storefronts*

##### **Response:**

- i. *Pedestrians are protected by traditional wall canopies and more significantly by a large building overhang at the Outdoor Plaza. The ceiling of the overhang is about thirty feet high and the plaza depth is about the same, providing a unique shelter and expansive view environment.*
- ii. *Weather protection is completely an integral component of the façade.*
- iii. *Weather protection shall be in proportion to building & sidewalk*
- iv. *Weather protection provides a great sense of **enclosure** for pedestrians at the building overhang.*
- v. *Materials used are appropriate for commercial applications.*
- vi. *Awnings & marquees are coordinated with building design*

- vii. Minimum height of awnings & marquees is met.
- viii. Maximum height of awnings & marquees is met.
- ix. Pavement below weather protection provides drainage
- x. Weather protection has horizontal orientation
- xi. Weather protection follows the pattern of storefronts

### 3. Create a Variety of Outdoor Spaces

#### Guidelines

- i. Outdoor gathering spaces should be inviting and maximize opportunities for use. They should be spatially well-defined, inviting, secure, and easy to maintain. They may be intimate and quiet or active and boisterous;
- ii. All outdoor areas should work well for pedestrians and provide space for special events, as well as passive activities;
- iii. Provide courtyards, squares, and plazas to enhance adjacent ground floor uses;
- iv. Use buildings to surround green spaces and give the space visual definition. Vitality can be generated by active ground floor uses and programming within the space;
- v. Use trees, shrubs, and plants to help define walkways, create transitions from open spaces to the street, and provide visual interest;
- vi. Provide for outdoor spaces that can support active uses such as farmers' markets, festivals, and community events;
- vii. Provide structures, pavilions, and seating areas that are easily accessible and feel safe and secure during day and evening hours; and
- viii. Provide pedestrian walkways and courtyards in residential or office development areas.

#### Response:

More than three thousand square feet of accessible open plaza with movable tables and chairs, fixed benches, a water feature, green vegetated screens, and artistic seating is provided. Twenty percent of the plaza is landscaped. The plaza is open along NE 10<sup>th</sup> Street and the clear height provided brings ample sun/lighting throughout the year. The space provides protection from inclement weather during events or daily use and is completely visible from the street. Special lighting on grade and at the ceiling provides a sense of security during the evening. All plantings specified require low to moderate water use and are sun/shade tolerant. The project meets the green factor requirement as well as the allowed irrigation water budget.

A variety of seating areas are thoughtfully placed throughout the plaza creating a flexible space for small to large group gatherings. Artistic seating elements and the water feature create a striking composition while the large/high planter pots along the plaza perimeter create an inviting ambience for both residents and pedestrians passing by.

### 4. Provide Places for Stopping and Viewing

#### Guidelines

- i. Use formal benches, movable seating, and informal seating areas such as wide steps, edges of landscaped planters and low walls;
- ii. Provide more seating areas near active retail establishments especially outside eating and drinking establishments and near food vendors;
- iii. Provide seating adjacent to sidewalks and pedestrian walkways;
- iv. Create places for stopping and viewing adjacent to and within parks, squares, plazas, and courtyards;
- v. Create a sense of separation from vehicular traffic; and
- vi. Provide comfortable and inviting places where people can stop to sit, rest and visit.

#### Response:

Please see the descriptive Response for item # 3 (above)

Linear formal benches are placed perpendicular to the building facade to define a space/zone while artistic seating elements and loose movable tables and chairs are organically spaced within. Seating is placed near retail areas and placed away from the main residential entry, creating a visual, linear corridor linking the public sidewalk to the main entry. Linear benches are located next to the west planter for a semi-private, comfortable gathering area. A green vegetated screen provides visual interest for people to stopping to sit, rest and visit.

### 5. Integrate Artistic Elements

#### Guidelines

- i. Use art to provide a conceptual framework to organize open spaces including plazas, open spaces, setbacks, and streetscapes;
- ii. Use art to mark entryways, corners, gateways and view termini;
- iii. Integrate art into building elements, including but not limited to: façades, canopies, lighting, etc.;
- iv. Designate a location for the artwork that activates the public realm and is in scale with its location; and
- v. Use materials and methods that will withstand public use and weathering if sited outdoors.

**Response:**

Three primary structural elements supporting the south façade of the building have been exposed and unified with high-finish metal STONE cladding, creating a memorable colonnade along NE 10<sup>th</sup> Street. The metal-finish LIGHT-COLORED STONE is intended to dematerialize DEEMPHASIZE these objects in some parts of the day, then create a forest-scale silhouette in the evening, enhanced by lighting effects in the open plaza behind them. Metal STONE detailing and lighting design are complementary enhancements of the design.

Artistic seating elements are located throughout the plaza and with special lighting on-grade create an artistic/visual interest while defining & accentuating the residential entry corridor. A sculptural water feature provides white noise within the plaza and large/tall planter pots containing sculptural plantings contribute to the aesthetic. A large, artistic screen is located at the west edge of the property as a contrasting backdrop for plants.

**6. Orient Lighting toward Sidewalks & Public Spaces****Guidelines**

- i. Pedestrian-scaled lighting should be provided along pedestrian walkways and public open spaces;
- ii. Lighting should be compatible among projects within neighborhoods to accentuate their unique character;
- iii. Fixtures should be visually compatible so as not to overpower or dominate the streetscape;
- iv. Lighting may also be used to highlight trees and similar features within public and private plazas, courtyards, walkways, and other similar outdoor areas and to create an inviting and safe ambiance;
- v. Use lighting to highlight landscape areas;
- vi. Integrate and conceal fixtures into the design of buildings or landscape walls, handrails, and stairways;
- vii. Install foot lighting that illuminates walkways and stairs;
- viii. Use energy-efficient lighting, such as LED;
- ix. Direct bollard lighting downward toward walking surfaces;
- x. Provide festive lighting along signature streets on buildings and trees; and
- xi. Decorative lighting may be used in open spaces to make the area more welcoming.

**Response:****Response:**

- i. All lighting for pedestrian walkways and public open spaces is being provided by building mounted lighting.
- ii. Lighting will be designed to be compatible with neighboring buildings and will be unique, adding character to the project.
- iii. All lighting for the building will be shielded from unnecessary glare, and will accent the planned streetscape.
- iv. Lighting will be used for layered and low level illumination of landscape and architectural features of the planned plaza and walkways.
- v. Lighting will be used for low level accent of landscape areas.
- vi. Where possible, lighting has been designed to be concealed within landscape walls, or integrated into the building design to remain unobtrusive to the exterior environment.
- vii. Lighting to illuminate walkways and stairs will be installed.
- viii. All lighting will be designed with LED as the source.
- ix. Bollard lighting is not being used on this project AT THE GROUND LEVEL.
- x. Convenience power will be provided for special event needs.
- xi. Architectural feature lighting has been planned for this project. Decorative lighting will be kept to a minimum

**7. Orient Hanging and Blade Signs to Pedestrians****Guidelines**

- i. Signs should not overwhelm the streetscape. They should be compatible with and complement the building's architecture, including its awnings, canopies, lighting, and street furniture;
- ii. Sign lighting should be integrated into the façade of the building;
- iii. Signs should be constructed of high-quality materials and finishes;
- iv. Signs should be attached to the building in a durable fashion; and
- v. Signs should be constructed of individual, three-dimensional letters, as opposed to one single box with cutout flat letters.

**Response:**

Signage will be appropriately scaled, illuminated, and use complementary mounting methods and materials appropriate for an urban project. Designs will be integrated with all façade materials and not utilize 'sign boxes', such as those commonly found on strip-center retail centers.

## 8. Build Compatible Parking Structures

### Standards & Guidelines

- i. Where adjacent to a right-of-way, a minimum of 20 feet of the first and second floors measured from the façade inward shall be habitable for commercial activity. The following rights-of-way are excluded from this requirement:
  - (1) 114th Ave NE;
  - (2) Through-block [pedestrian connections](#);
  - (3) Main Street between 112th Ave NE and 114th Ave NE;
  - (4) NE 2nd Street between 112th Ave NE and 114th Ave NE;
  - (5) NE 4th Street between 112th Ave NE and 114th Ave NE; and
  - (6) NE 6th Street between 112th Ave NE and 114th Ave NE;
- ii. Parking garages and integrated structured parking shall be designed so that their streetscape interface has a consistent aesthetic through massing and use of materials complementing the vision for the area;
- iii. On a streetscape, openings shall be glazed when adjacent to right-of-way or adjacent to through-block [pedestrian connections](#) above the second floor, except when the openings are adjacent to the freeway, in which case the openings shall be glazed on floor levels above the adjacent freeway;
- iv. Openings shall be provided adjacent to [interior property lines](#) to avoid blank walls and shall be glazed to function as windows;
- v. Parking garage floors shall be horizontal to accommodate adaptive reuse;
- vi. Stairways, elevators, and parking entries and exits shall occur at mid-block;
- vii. Design a single auto exit/entry control point to minimize number and width of driveway openings (entry and exit points may be separated) and potential conflicts;
- viii. Design shall include vertical expression of [building structure](#) that provides continuity with the surrounding [development](#);
- ix. Profiles of parking [structure](#) floors shall be concealed and not visible to the public through façade treatments and materiality while providing openings consistent with residential and nonresidential [buildings](#);
- x. Parking garages and structured parking should be designed to be compatible with the urban streetscape;
- xi. Sill heights and parapets shall be sufficient to screen view of automobiles;
- xii. Rhythm and spacing of openings should reflect a typical commercial or residential [development](#); and
- xiii. Where glazing is required, the applicant may elect to provide a maximum of 25 percent of the openings of the total perimeter wall area of each level as unglazed or the minimum required openings percentage for natural ventilation established by the applicable International [Building](#) Code Section 406.5.2, as amended by the Bellevue [Building](#) Code, whichever is greater, to ensure the natural ventilation of the garage.

### Response:

N/A

## Right-of-Way (ROW) Designations – LUC 20.25A.170.B

### 1. Pedestrian Corridor/High Streets – “A” ROW

#### Standards & Guidelines

- i. [Transparency](#): 75 percent minimum;
- ii. [Weather Protection](#): 75 percent minimum, six feet deep. When a [building](#) is adjacent to two or more rights-of-way, [weather protection](#) shall be provided for the two rights-of-way with the highest pedestrian orientation. Refer to subsection [A.2](#) of this section for more guidelines on [weather protection](#);
- iii. [Points of Interest](#). Every 30 linear feet of the façade, maximum;
- iv. [Vehicular Parking](#). No surface parking or [vehicle](#) access shall be allowed directly between [sidewalk](#) and main pedestrian entrance; and
- v. One hundred percent of the [street wall](#) abutting the [build-to line](#) shall incorporate [Active Uses](#).

### Response:

N/A

### 2. Commercial Streets – “B” ROW

#### Standards & Guidelines

- i. [Transparency](#): 75 percent minimum;
- ii. [Weather Protection](#): 75 percent minimum, six feet deep minimum. When a [building](#) is adjacent to two or more rights-of-way, [weather protection](#) shall be provided for the two rights-of-way with the highest pedestrian orientation. Refer to subsection [A.2](#) of this section for more guidelines on [weather protection](#);
- iii. [Points of Interest](#): Every 60 linear feet of the façade, maximum;

- iv. Vehicular Parking: No surface parking or [vehicle](#) access directly between [perimeter sidewalk](#) and main pedestrian entrance; and
- v. One hundred percent of the [street wall](#) shall incorporate [Active Uses](#) and Service Uses, at least 50 percent of which shall be [Active Uses](#).

**Response:**

**N/A**

### 3. Mixed Streets – “C” ROW

#### Standards & Guidelines

- i. Transparency. 75 percent;
- ii. Weather Protection: 75 percent. When a [building](#) is adjacent to two or more rights-of-way, [weather protection](#) shall be provided for the two rights-of-way with the highest pedestrian orientation. Refer to subsection [A.2](#) of this section for more guidelines on [weather protection](#);
- iii. Points of Interest. Every 75 linear feet of façade, maximum;
- iv. Vehicular Parking: No surface parking or [vehicle](#) access directly between [perimeter sidewalk](#) and main pedestrian entrance; and
- v. Fifty percent of [street wall](#) shall incorporate [Active Uses](#) or Service Uses.

**Response:**

*Transparency, Weather Protection, and Points of Interest are provided per Guidelines. No parking is provided between the sidewalk and the main pedestrian entries. Active Uses are provided per Guidelines.*

### 4. Neighborhood Streets – “D” ROW

#### Standards & Guidelines

- i. Transparency. Blank walls and inactive uses may occupy no more than 25 percent of the façade;
- ii. Weather Protection. 50 percent. When a [building](#) is adjacent to two or more rights-of-way, [weather protection](#) shall be provided for the two rights-of-way with the highest pedestrian orientation. Refer to subsection [A.2](#) of this section for more guidelines on [weather protection](#);
- iii. Points of Interest. Every 90 linear feet of façade, maximum; and
- iv. Vehicular Parking. No surface parking or [vehicle](#) access directly between [perimeter sidewalk](#) and main pedestrian entrance.

**Response:**

*Transparency, Weather Protection, and Points of Interest are provided per Guidelines. No parking is provided between the sidewalk and the main pedestrian entries.*

### 5. Perimeter Streets – “E” ROW

#### Standards & Guidelines

- i. Transparency. Blank walls and inactive uses may occupy 25 percent of the façade;
- ii. Weather Protection. At entries;
- iii. Points of Interest. Every 90 linear feet of façade, maximum; and
- iv. Vehicular Parking. No surface parking or [vehicle](#) access directly between [perimeter sidewalk](#) and main pedestrian entrance.

**Response:**

**N/A**

### Alleys with Addresses – LUC 20.25A.170.C

#### Standards

- a. At least one entire side of the Alley with an Address shall comply with guidelines i. through v. for Pedestrian Corridor/High Streets – “A” rights-of-way found in subsection B of this section.
- b. Minimum dimension for an alley with an address shall be 20 feet wide exclusive of drive lane widths.
- c. Alleys with addresses shall be open to the public 24 hours a day and seven days a week. Signs shall be posted in clear view stating the Alley with an Address is open to the public during these hours.
- d. Each tenant space shall have an exterior entrance facing the alley and be addressed off the alley.

**Response:**

**N/A**

#### Guidelines

- a. *Materials and design elements such as paving, lighting, landscaping, and signage should incorporate design elements of the adjacent right-of-way to identify it as part of the public realm.*
- b. *An Alley with an Address may be covered in some areas but should not be predominantly enclosed.*
- c. *Access from the public right-of-way should be encouraged and enhanced by multiple clear points of entry that identify the alley as a public space. Access through the site should form a clear circulation logic with the street grid.*
- d. *Wayfinding, signage, symbols, and lighting should identify the alley as a public space.*
- e. *Design of the ground-level and upper-level retail should relate to the alley and be distinct from the rest of the building. This can be achieved through the use of common architectural style, building materials, articulation, and color.*
- f. *Variation should be incorporated into the design by including dimensional and level changes at both the ground plane and building walls.*
- g. *Pedestrian-oriented lighting should be provided that is compatible with the landscape design, improves safety and minimizes glare. Design should be high quality, and materials should be durable and convey a sense of permanence.*
- h. *Landscaping should be used to animate and soften the space. The use of art and water is also encouraged.*
- i. *Alley design should not incorporate loading, refuse handling, parking, and other building and site service uses at the ground level façade, though such activities may be conducted in an Alley when reasonable alternatives are not available. Operational procedures should encourage the above-referenced activities after normal business hours.*
- j. *Provide complete project design for all phases within a project limit to ensure coordinated design and construction across multiple phases.*

**Response:**

**N/A**

#### **Upper-Level Active Uses – LUC 20.25A.170.D**

##### **Standards**

- a. *Points of physical vertical access between the ground level and upper levels shall be located no more than 150 feet apart to facilitate frequent pedestrian access to upper-level active uses.*
- b. *Each tenant space shall have an exterior entrance.*
- c. *Floor area and building façades directly below upper-level active uses shall comply with standards and guidelines b.i. through b.v. for Pedestrian Corridor/High Streets – “A” rights-of-way found in subsection B.1 of this section.*
- d. *Visual access shall not be impaired by small, enclosed display windows, window coverings and tinted or reflective glazing.*

**Response:**

- a. *Points of physical vertical access (one exterior location) between the ground level and upper levels are located less than 150 feet apart, and is adjacent to the primary retail entrance.*
- b. *Each tenant (two spaces) has a direct, shared exterior entrance at the street level.*
- c. *Floor area and building façades directly below upper-level active uses comply with standards and guidelines appropriate for each street frontage classification.*
- d. *Visual access is not impaired by small, enclosed display windows, window coverings or tinted or reflective glazing, as this area is a part of the two-story retail curtainwall envelope.*

##### **Guidelines**

- a. *Architectural treatment of the upper-level active use space should read as part of the ground level and be distinct from the architectural treatment of the building above.*
- b. *Extensive visual access into the upper-level retail space should be available from the sidewalk or the alley with an address with frequent clear lines of sight from grade.*
- c. *Lighting and signage should be used to enliven and draw attention to upper-level arcade or balcony, or directly through ground level retail for a multilevel single tenant.*

**Response:**

- a. *Architectural treatment of the upper-level active use space reads as part of the ground level and is completely distinct from the architectural treatment of the residential floors above.*
- b. *Extensive visual access into the upper-level retail space is available from the sidewalk due in part to the peninsular aspect of the ‘front’ retail. Exposures at both city streets and the Open Plaza will create an interlocked visual relationship between sidewalk and shops.*
- c. *Lighting and signage are used to enliven and draw attention to the upper-level including a clearly inter-floor circulation silo that provides access to upper retail and to below grade parking. This ‘silo’ is adjacent to the primary first floor retail entry and will serve as another landmark for the project.*

## LUC 20.25A.180 - BUILDING DESIGN

### Overall Building Design – LUC 20.25A.180.B

#### 1. Encourage High-Quality Materials

##### Guidelines

- i. Articulation of façade materials should be bold, with materials that demonstrate depth, quality, and durability;
- ii. It should be apparent that the materials have substance and mass, and are not artificial, thin “stage sets” applied only to the building’s surface;
- iii. Use natural high-quality materials such as brick, finished concrete, stone, terra cotta, cement stucco, and wood in natural or subdued building colors; and
- iv. Use varied yet compatible cladding materials. Window and storefront trim should be well-defined and contribute to the overall aesthetic quality.

##### Response:

- i. Articulation of façade materials is bold, with materials that demonstrate depth, quality, and durability;
- ii. It is apparent that the materials have substance and mass, and are not artificial, thin “stage sets” applied only to the building’s surface and are appropriate for highrise commercial application.
- iii. High-quality materials such as ground-face cmu, stone, metal and glass systems, and protected wood materials are proposed.
- iv. Traditional window ‘trims’ are not appropriate for this project as materials are integral, not additive, in the waterproof assemblies.

#### 2. Provide Interesting Building Massing

##### Guidelines

- i. The length and breadth of a building should be pedestrian-scaled. Portions of a large building mass should be broken into smaller, appropriately scaled modules, with changes in plane indicated by bold projections and recesses. This results in larger elevations being reduced to human scale;
- ii. Vertical and horizontal elements should be used to create a human scale and form a coherent aesthetic providing visual interest to the pedestrian;
- iii. Reduce the scale of elevations both horizontally and vertically;
- iv. Buildings should exhibit a vertically articulated tripartite façade division – base, middle, and top through material and scale; and
- v. Design should feature vertical articulation of windows, columns, and bays.

##### Response:

- i. The length and breadth of a building is pedestrian-scaled at the podium structure, complementary with neighboring new buildings and the design guidelines.
- ii. Vertical and horizontal elements are used to create a human scale and form a coherent aesthetic providing visual interest to the pedestrian;
- iii. The building tower elements are carefully tuned both horizontally and vertically to maintain proportions of the whole while articulating the uses within each part (residential windows, retail entrances, amenity spaces at top, etc.)
- iv. The building exhibits a vertically articulated tripartite façade division – base, middle, and top through material and scale; and
- v. Features skillful vertical articulation of windows, columns, and bays.

### Connected Floor Plates – LUC 20.25A.180.C

##### Guidelines

- a. From the right-of-way, the development should appear as separate and distinct buildings to the pedestrian; and
- b. The connection should appear to be distinct from the adjacent masses.

##### Response:

N/A

### Building Base (Podium) – LUC 20.25A.180.D

#### 2. Articulate Building Base

##### Guidelines

- i. Provide architectural expression and design elements such as cornice lines, window bays, entrances, canopies, building materials, and fenestration, in a pattern, scale, and proportion that relate to neighboring buildings and engages pedestrians;

- ii. Use high quality, durable materials, an appropriate variety in texture, and carefully crafted details to achieve visual interest and longevity for the façade. Environmentally sustainable materials and construction methods are encouraged; and
- iii. A building's profile should be compatible with the intended character of the area and enhance the streetscape. In some cases, it may be appropriate to mark an entryway with a distinct form to emphasize the significance of the building entry.

**Response:**

- i. The character of materials and massing is distinct from tower body, above. Transparent areas are more contiguous, materials are generally unique for this portion of the building, the spaces are articulated and interlocking, creating a sculpted transition of the building to the ground. The pedestrian environment is inviting and protective- unique for downtown residential highrise developments.;
- ii. High quality durable materials (commercial grade), with an appropriate variety in texture, and carefully crafted details achieve both visual interest and longevity for the façade and exterior soffits.
- iii. The building's primary residential entry is within the Outdoor Plaza and is currently non-descript, within the curtainwall of the podium façade in a modern, minimalist architectural vocabulary.

**3. Provide Clear, Unobstructed views/ground floor uses**

**Guidelines**

- i. Transparent windows should be provided on façades facing streets, parks, and open spaces;
- ii. Views into and out from ground floor Active Uses may not be obstructed by window coverings, internal furnishings, or walls;
- iii. Interior walls may be placed a minimum of 20 feet from the window on the façade where Active Uses are a part of an exemption in the FAR Amenity System.

**Response:**

- i. Transparent windows are provided on façades facing streets, parks, and open spaces. Opaque surfaces are generally cladding of the building core that is exposed within the Outdoor Plaza, creating integrating elements with the Plaza soffit overhead.
- ii. Views into and out from ground floor **Active Uses** are not obstructed by window coverings, internal furnishings, or walls;

**4. Design Inviting Retail & Commercial Entries**

**Guidelines**

- i. Primary entries to retail and commercial establishments should be transparent, allowing passersby to see the activity within the building and bring life and vitality to the street;
- ii. Architectural detail should be used to help emphasize the building entry including canopies, materials, and depth;
- iii. Building lighting should emphasize entrances;
- iv. Provide transom, side lights, or other combinations of transparency to create visual interest;
- v. Provide double or multiple door entries; and
- vi. Provide a diverse and engaging range of doors, openings, and entrances to the street such as pivoting, sliding or roll up overhead entrances.

**Response:**

- i. Primary entries to retail and commercial establishments are transparent, allowing passersby to see the activity within the building and bring life and vitality to the street;
- ii. Architectural detail is used to help emphasize the building entry including canopies, materials, and depth;
- iii. Building lighting emphasizes entrances;
- iv. Provide transoms, side lights, and other combinations of transparency create visual interest. The ground level walls are intentionally transparent so to active the streetscape.
- v. A double door vestibule is provided at the main residential entry.
- vi. Swing doors are appropriate for this application. Tenant revisions to the retail spaces will be considered on a case-by-case instance and must be subordinate to the Washington Energy Code.

**6. Encourage Retail Corner Entries**

**Guidelines**

- i. Locate entry doors on the corners of retail buildings wherever possible. Entries at 45-degree angles and free of visual obstructions are encouraged;
- ii. Locate primary building entrance at the corner;
- iii. Use weather protection, special paving, and lighting, to emphasize corner entry;
- iv. Use architectural detailing with materials, colors, and finishes that emphasize the corner entry; and

- v. Use doors with areas of transparency and adjacent windows.

**Response:**

- i. Structural and functional obstacles and opportunities guided the retail entrance north of the building corner to a place activated by the vertical circulation to the upper level retail and the lower level retail parking for both pedestrians and bicycles. Retail space and plaza planning benefit with this location.
- ii. The primary residential entry is located on the Open Plaza, functionally adjacent to the building core and lobby. A corner entry is not practical or appropriate for this entrance.

**7. Encourage Inviting Ground Floor Retail & Commercial Windows**

**Guidelines**

- i. Retail and commercial uses should use unobstructed windows that add activity and variety at the street level, inviting pedestrians into retail and commercial uses and providing views both in and out;
- ii. Use clear window glazing;
- iii. Provide operable windows that open by pivoting, sliding or shuttering for restaurants, cafes, retail and commercial activity;
- iv. Install transom windows or other glazing combinations that promote visual interest.

**Response:**

- i. The retail spaces are 'high identity' spaces due to their locations and prominent geometry within the building podium. Retail and commercial uses have unobstructed windows that add activity and variety at the street level, inviting pedestrians into shops, providing views both in and out. This transparency design goal is shared by the applicant so to encourage the likelihood of financially healthy business tenants.
- ii. Clear window glazing will be used, though subordinate to the energy code requirements.
- iii. Operable windows are not currently included, though will be considered at the time of tenant improvements
- iv. Commercial glazing at the street is arranged in a retail-friendly configuration, in keeping with the design language of the podium structure.

**8. Provide Multiple Entrances**

**Guideline**

Provide pedestrian entrances at frequent intervals to contribute to variety and intensity.

**Response:**

Pedestrian entrances are placed at appropriate functional intervals to provide access and to maintain security for residents and tenants.

**Middle (Tower) – LUC 20.25A.180.E**

**i. Tower Placement**

**b. Guidelines**

- i. Place [towers](#) away from parks, [open space](#), and neighboring properties to reduce visual and physical impacts of the [tower](#) and allow the base [building](#) to be the primary defining element for the [site](#) and adjacent [public realm](#).
- ii. Coordinate [tower](#) placement with other [towers](#) on the same block and adjacent blocks to maximize access to sunlight and sky view for surrounding streets, parks, [open space](#), and properties.

**Response:**

- i. The tower has a modest footprint and is sited appropriately to the right-of-way boundaries. The building base is also sited appropriately adjacent to the right-of-way, creating the familiar connection of the project to the street edge.
- ii. The tower placement creates logical street adjacencies, commensurate with neighborhood standards. The location and geometry is beneficial for daylight and views.

**ii. Maximize Energy Efficiency**

**b. Guidelines**

- i. Orient [towers](#) to improve [building](#) energy performance, natural ventilation, and daylighting; provided, that access to sky view is maintained and adverse wind and shadow impacts are minimized;
- ii. Vary the design and articulation of each [tower](#) façade to respond to changes in solar orientation. Where appropriate, adjust internal layouts, glazing ratios, balcony placement, fenestration, and other aspects of the [tower](#) design to manage passive solar gain and improve [building](#) energy performance;
- iii. Where possible, include operable windows to provide natural ventilation and help reduce mechanical heating and cooling requirements; and

|  |  |
|--|--|
| iv.  | When multiple <u>towers</u> are proposed, stagger the <u>tower</u> heights to create visual interest within the skyline, mitigate wind, and improve access to sunlight and sky view. In general, a variation of five <u>stories</u> or more provides a difference in height that can be perceived at street level. |
| <b>Response:</b>   |  |
| i.   | The tower is properly oriented to take advantage of normal lighting and ventilation expectations for highrise residential living. Wind and shadow impacts are considered neutral.  |
| ii.  | Average glazing percentages are relatively uniform for all facades, balancing the need for occupant daylight with the current energy code.   |
| iii.   | Operable window are provided in residential spaces.  |
| iv.  | One tower is proposed.   |
| <b>iii. Design Tower to Provide Visual Interest &amp; Articulation</b>   |  |
| <b>b. Guidelines</b>   |  |
| i.   | Incorporate variation and articulation in the design of each <u>tower</u> façade to provide visual interest and to respond to design opportunities and different conditions within the adjacent context; and   |
| ii.  | Articulate <u>towers</u> with high-quality, sustainable materials and finishes to promote design excellence, innovation, and <u>building</u> longevity.  |
| <b>Response:</b>   |  |
| i.   | Building facades are articulated to create distinction among the orientations for color and material.  |
| ii.  | Façade materials are selected for appropriateness of performance and maintenance for a highrise structure.   |
| <b>iii. Promote Visually Interesting Upper Floor Residential Windows</b> |  |
| <b>b. Guidelines</b>   |  |
| i.   | The windows of a residential <u>building</u> should be pleasing and coherent. Their size and detailing should be of a human scale with regular spacing and a rhythm of similarly shaped windows;   |
| ii.  | Windows should be residential in character;  |
| iii.   | Windows should be operable; and  |
| iv.  | Windows should have trim round framed openings and be recessed from the <u>building</u> façade, not flush.   |
| <b>Response:</b>   |  |
| i.   | The windows of this residential <u>building</u> are SO pleasing and coherent. Their size and detailing are of a human scale with regular spacing and a rhythm of similarly shaped windows;   |
| ii.  | Windows are residential in character, opposed to a commercial office ribbon window intended to open the interior completely to the exterior.;  |
| iii.   | Windows are operable in balance between energy efficiency and the desire for a connection to the out of doors without the need for mechanical ventilation; and   |
| iv.  | Windows are appropriate for the demands of highrise performance, not detailed for lowrise standards and materials.   |
| <b>Top – LUC 20.25A.180.F</b>  |  |
| <b>1. Create Attractive Building Silhouettes &amp; Rooflines</b>         |  |
| <b>b. Guidelines</b>   |  |
| i.   | <u>Building</u> rooflines should be dynamic, fluid, and well-articulated to exhibit design excellence while creating a dynamic and attractive skyline;   |
| ii.  | Include <u>towers</u> or similar vertical architectural expressions of important <u>building</u> functions such as entries;  |
| iii.   | Vary roof line heights; and  |
| iv.  | Incorporate well-detailed cornices that have significant proportions (height and depth) and create visual interest and shadow lines.   |
| <b>Response:</b>   |  |
| i.   | The massing of the building top is in character with the massing and detailing of other portions of the building, providing unique interior and exterior spaces that will with provide a subtle and unique identity to the project.  |
| ii.  | The building silhouette is quiet though not predictable, creating a modest landmark for the neighborhood;  |
| iii.   | Roofline heights do vary intentionally, creating interlocking forms that express the special functions of the amenity uses.  |
| iv.  | <del>A top-level cornice is used to visually terminate the tower below the amenity floor, separating the residential homes from their common area.</del>   |
| <b>2. Foster Attractive Rooftops</b>                                     |  |

**b. Guidelines**

- i. Roof shape, surface materials, colors, and penthouse functions should all be integrated into the overall [building](#) design. LUC [20.25A.130](#) provides guidance for rooftop mechanical equipment;
- ii. Provide rooftop terraces, gardens, and [open spaces](#);
- iii. Incorporate green roofs that reduce [stormwater](#) runoff;
- iv. Consolidate and screen mechanical units; and
- v. Occupied rooftop amenity areas are encouraged; provided, that potential noise and light impacts on neighboring [developments](#) are minimized.

**Response**

- i. *The rooftop is distinct and fully integrated with the architectural vocabulary, recalling elements of the residential façade and the building podium. All mechanical equipment is screened within the natural geometry of the primary rooftop elements.*
- ii. *A unique interlocked southwest-oriented open space and south-oriented interior gathering space provide residents with many options to experience weather, plantings, and views. Amenities includes an outdoor lounge seating area, BBQ counters with canopy, dining tables and chairs, a gas firepit gathering area, and a dog run area*
- iii. *Large surface planting areas are provided that will inadvertently manage rainfall.*
- iv. *Mechanical units are screened and consolidated.*
- v. *The occupied rooftop amenity area is prominently oriented south toward the right-of-way. Active areas are near the core, reducing intensity at the building edges.*

end

**ATTACHMENT B**

**APPLICABLE COMPREHENSIVE PLAN  
POLICIES**

## **Description of Proposal and Design Intent – Mirador Phase I and II**

Per the pre-application letter, we have reviewed all the land use policies and goals noted, and below is a highlight of the main features of this project.

Some examples of comprehensive plan policies noted that this project will be especially responsive to as follows:

### **URBAN DESIGN & THE ARTS:**

Character/Downtown, Commercial, and Mixed-Use Neighborhoods:

UD 1 “Enhance appearance, image and design character for Bellevue to be inspiring place”. Project will be of high quality design and materials. Durable and designed for long term. Landscaping and plaza areas open to the public will provide for space for interaction amongst the public. Current location has outdated buildings that do not contribute to character of city.

UD 10 “Encourages interesting roof lines” This project consists of positive / negative void spaces and partial louver of reflective materials that will provide visual interest at the sky. In contrast to a straight outline / “box” appearance at roof.

UD 11: Develop downtown and mixed-use areas considering scale, traffic and land use impacts” This project is in the MU zone, and provides both residential uses and retail at base. Open space at base is open to public, oriented to the south for maximum exposure to the sun. Traffic is taken off NE 10<sup>th</sup> for entry to project and is entered off NE 103<sup>rd</sup>. Project is on a small site, so the tower configuration and “bulk” is less than the maximum plate size, offering less impact on the land space and for adjacent projects views, solar access, etc.

UD12 “Enhance safe, active connected pedestrian environment”. This project will enhance the existing sidewalk, and provide enhanced streetscape for added pedestrian movement and areas for rest in this public space. Project continue work in Phase 1 at 103<sup>rd</sup>, and continues now around NE 10<sup>th</sup> with new sidewalk.

### **Arts and Culture:**

Policies UD-14, 17

UD 14 “Support and Encourage development, display and performance for variety of artistic expressions”. Project will incorporate artwork at the interior of the project – visible to the exterior and the open public plaza will have opportunities for performance or staged / musical events.

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OCT 26 2017  
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UD 44 "Incorporate character of surrounding community". This project utilizes similar colors and materials of adjacent development for subtle continuity. (Avalon towers tan colored base sim to metal panel color proposed, metal at upper towers similar materials). We anticipate a great deal of change in this neighborhood as one-story building begin to be replaced with taller structures.

UD 50 "Building sited to sidewalk". This project does just that...its main facades are pushed toward both 103<sup>rd</sup> and NE 10<sup>th</sup> streets per this guideline.

### **Signs and Wayfinding**

Policies UD-51 – 53

UD 52 "Discourage upper level signage". Project does not anticipate any signage at upper levels.

### **Vegetation and Landscaping**

Policies UD-54-57

UD 54, 55 and 56. "Utilize landscape design appropriate for urban settings, exemplify the Pacific Northwest character and promote water conservation". Planting will be specifically selected to be water sensitive and native so as minimum irrigation is needed. Evergreen plants will be especially important for year-round green environment reflecting the Northwest. A mix of hard-scape and landscape will be mixed appropriately for an urban setting. Hardscapes are needed for enhance sidewalk to allow for street furniture, table and chairs, seating and seasonal retail use appropriate for urban character.

### **Public Spaces:**

Policies UD-58 – 62

UD 58 "System of public spaces". This project utilizes both the enhanced streetscape and open plaza amenity to offer a variety to the open space and public space systems.

UD 59 "Access to sunlight". Project open space and enhanced streetscape is open to south light.

UD 60 "Weather projection". The Project has substantially protected all sidewalks at NE 10<sup>th</sup> and 103<sup>rd</sup> via building overhang and /or canopy.

# **ATTACHMENT C**

## **ADMINISTRATIVE DEPARTURE REQUEST FORMS**

# DEPARTURE 1

REQUEST TO DEPART FROM  
LUC 20.25A.090.A.1  
PLANTER STRIP

## ADMINISTRATIVE DEPARTURE REQUEST FORM

Permit #:17-126596-LP & 18-124370-LD

Project Name: Mira II Residential

Administrative Departure requested for LUC LUC 20.25A.090.A.1 Plate A

Provide written responses using this form (in Word format) to

- 1) describe the Departure requested and
- 2) to provide written responses to the Departure Approval Criteria in LUC 20.25A.030.D. Provide a *separate* Administrative Departure Request Form for each Departure requested.

Response sections below will expand to fit your answers as more space is needed.

Refer to Land Use Code for complete wording and requirements at:

<https://bellevue.municipal.codes/LUC>

### Written Description of Departure Being Requested:

Provide a written narrative below, describing the departure being requested (reason for request, design, dimensions, etc.) and how Departure fits into the design of the project as a whole. Attach diagrams, plans, and/or renderings as needed to this Administrative Departure Request Form to adequately describe the Departure.

City of Bellevue Comment: "4.Sheet L1.0: Planting Strip along 103rd Avenue NE may be approved through an Administrative Departure. Per LUC 20.25A.090.A.1 Plate A, tree wells are required on 103rd NE. Land Use will support the Departure since it is consistent with the planting strip installed on Phase I. Submit an Administrative Departure Request."

Applicant Response: The City has defined a desired outcome within the context of a transitioning Land Use Code and the permitted and constructed Phase 1 building.

### Written Responses to the Departure Decision Criteria in LUC 20.25A.030.D.1.2:

- i. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; **AND**

Per LUC 20.25A.090.A.1 Plate A, tree wells are required on 103<sup>rd</sup> Ave. NE. However, by providing a planting strip in lieu of tree wells, the project is able to maximize its landscaped green areas within the restricted small site.

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APR 30 2019

- ii. The resulting design will be more consistent with the purpose and intent of the Land Use Code; **AND**

At Phase 1 of the project, Planting strips are installed along 103<sup>rd</sup> Ave. NE, and installing planting strips at Phase 2 project will be more consistent for the entire project.

- iii. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; **AND**

The Design proposes to only change the tree wells to a planting strip. The proposed Planting Strip is approximately 5' wide which complies with LUC 20.25A.090 B. required min. Planter strip's width and the Tree species (Ginkgo biloba 'Autumn Gold') complies with Table 20.25A.110.A.1 Plate B.

- iv. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;  
It is the opinion of the applicant that all criteria have been met.

**OR**

- v. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).

## DEPARTURE 2

REQUEST TO DEPART FROM  
LUC 20.25A.170.B.1.b  
ACTIVE USE

## ADMINISTRATIVE DEPARTURE REQUEST FORM

Permit #:17-126596-LP & 18-124370-LD

Project Name: MIRA 2

Administrative Departure requested for LUC: Insert Code Section here

Provide written responses using this form (in Word format) to

- 1) describe the Departure requested and
- 2) to provide written responses to the Departure Approval Criteria in LUC 20.25A.030.D.

Provide a *separate* Administrative Departure Request Form for each Departure requested.

Response sections below will expand to fit your answers as more space is needed.

Refer to Land Use Code for complete wording and requirements at:

<https://bellevue.municipal.codes/LUC>

### Written Description of Departure Being Requested:

Provide a written narrative below, describing the departure being requested (reason for request, design, dimensions, etc.) and how Departure fits into the design of the project as a whole. Attach diagrams, plans, and/or renderings as needed to this Administrative Departure Request Form to adequately describe the Departure.

City of Bellevue Comments: Therefore, the requirement to submit a request for an Administrative Departure request to consider the residential lobby as an Active Use (as indicated in the Revision Request Letter of March 25, 2019) is removed.

However, a request for an Administrative Departure will be required because the 103<sup>rd</sup> Avenue NE façade does not meet the "A" Street standard to incorporate 100% Active Uses due to the location of the location of the FCC Room at the northeast corner of the building. The existing façade can be approved through a request for an Administrative Departure.

Applicant Response: MZA has provided the Fire Command Center and Rescue Air Connection in locations per discussions with Bellevue Fire Department and agree that proper access and life safety concerns are best met with this design.

### Written Responses to the Departure Decision Criteria in LUC 20.25A.030.D.1.2:

- i. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; **AND**

Policy objectives are best attained through this negotiated placement of this highrise building's life safety equipment.

Received  
APR 30 2019

ii. The resulting design will be more consistent with the purpose and intent of the Land Use Code; **AND**  
Functionality of essential life-safety services is best met through this jointly-developed design.

iii. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; **AND**

Opportunities for ideal emergency access points are typically limited at each site. The proper balance of function and aesthetics has been achieved at this street location near the service yard between two buildings.

iv. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;

Administrative Departure criteria have been met.

**OR**

v. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).

## DEPARTURE 3

REQUEST TO DEPART FROM  
LUC 20.25A.060.B.2.a. iii  
INTRUSIONS OVER THE SIDEWALK

## ADMINISTRATIVE DEPARTURE REQUEST FORM #6

Permit #:17-126596-LP & 18-124370-LD

Project Name: MIRA 2

Administrative Departure requested for LUC: 20.25C.025.C.3

Provide written responses using this form (in Word format) to

- 1) describe the Departure requested and
  - 2) to provide written responses to the Departure Approval Criteria in LUC 20.25A.030.D.
- Provide a *separate* Administrative Departure Request Form for each Departure requested.

Response sections below will expand to fit your answers as more space is needed.

Refer to Land Use Code for complete wording and requirements at:

<https://bellevue.municipal.codes/LUC>

### Written Description of Departure Being Requested:

Provide a written narrative below, describing the departure being requested (reason for request, design, dimensions, etc.) and how Departure fits into the design of the project as a whole. Attach diagrams, plans, and/or renderings as needed to this Administrative Departure Request Form to adequately describe the Departure.

Unit balconies located on the east façade intrude into the 103<sup>rd</sup> Avenue NE ROW less than 12 inches and begin on floor level 3, approximately 32 feet above the sidewalk. Residential units typically provide small exterior spaces in urban environments and are visual indicators for residential towers, contrary to uninterrupted wall surfaces of commercial towers, such as office buildings. Please see the attached diagram Balcony Diagram 1. Note, while this configuration is allowed outright within the downtown zone, the code describes a required Director approval in this location with no reasoning provided.

### Written Responses to the Departure Decision Criteria in LUC 20.25A.030.D.1.2:

- i. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; **AND**

These elements repeat details found on the balconies on the south façade (the south balconies are not within a setback). The southeast corner of the project is visually prominent as it is at a street intersection, and important to convey residential use to the passing observer. Balconies on these adjoining facades balance the composition while conveying the appropriate scale. Beyond the subjectivity of design, important, convenient outdoor spaces for urban highrise living is the normal expectation for buyers and renters and conducive to the Comprehensive Plan goal of livability within the downtown core.

ii. The resulting design will be more consistent with the purpose and intent of the Land Use Code; **AND**

The LUC states: External decks and balconies are permitted to extend over the right-of-way upon approval of the Director or the Transportation Department and the Director and shall be a minimum clearance of 20 feet above the right-of-way, and no greater in depth than 50 percent of the width of the required sidewalk. **The balcony element is ubiquitous with multi-family living in Bellevue and as such should be considered a 'neutral' topic with respect to purpose and intent of the LUC.**

iii. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; **AND**

The configuration is well below all code parameters.

iv. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;

All design criteria have been met.

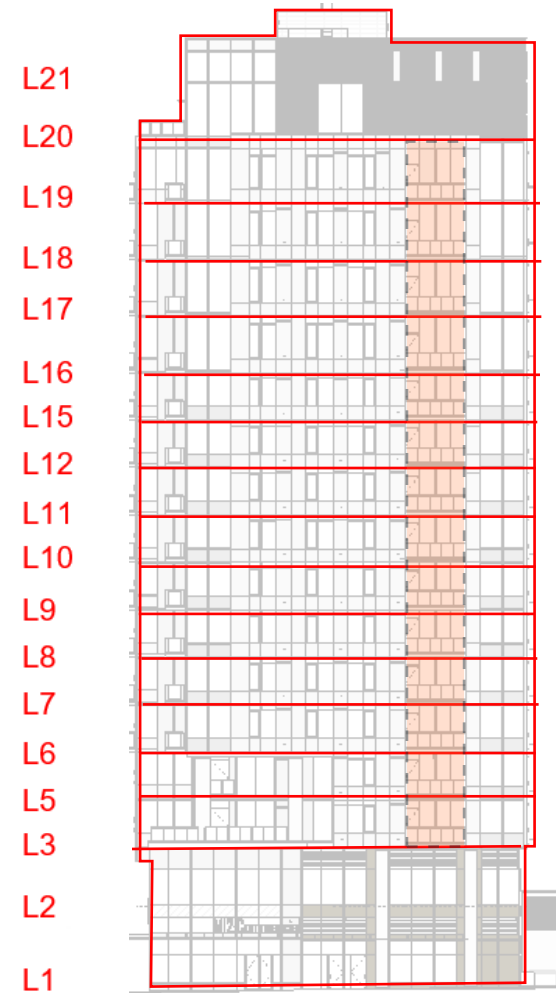
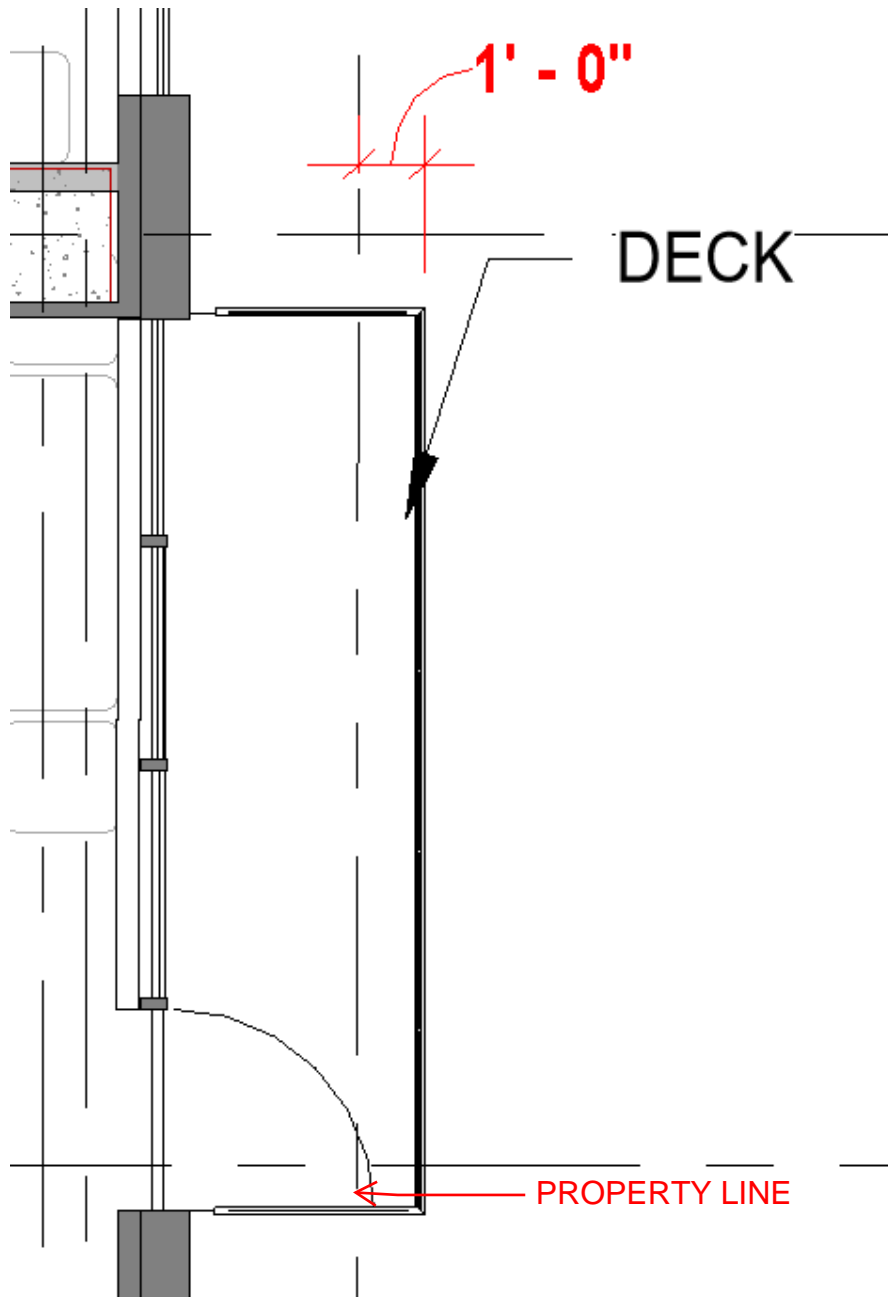
**OR**

~~v. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).~~

**GROAN**

end

DIAGRAM 1: RESIDENTIAL DECK LOCATED ON THE EAST SIDE OF THE BUILDING



EAST ELEVATION AT 103RD AVE NE.

A TOTAL OF 14 RESIDENTIAL DECKS  
PROVIDED

## DEPARTURE 4

REQUEST TO DEPART FROM  
LUC 20.25A.075.A.3  
OUTDOOR PLAZA SIZE

## ADMINISTRATIVE DEPARTURE REQUEST FORM #8

Permit #:17-126596-LP & 18-124370-LD

Project Name: MIRA 2

Administrative Departure requested for LUC: 20.25A.070.D.4

Provide written responses using this form (in Word format) to

- 1) describe the Departure requested and
  - 2) to provide written responses to the Departure Approval Criteria in LUC 20.25A.030.D.
- Provide a *separate* Administrative Departure Request Form for each Departure requested.

Response sections below will expand to fit your answers as more space is needed.

Refer to Land Use Code for complete wording and requirements at:

<https://bellevue.municipal.codes/LUC>

### Written Description of Departure Being Requested:

Provide a written narrative below, describing the departure being requested (reason for request, design, dimensions, etc.) and how Departure fits into the design of the project as a whole. Attach diagrams, plans, and/or renderings as needed to this Administrative Departure Request Form to adequately describe the Departure.

The applicant requests a departure from the 10% Outdoor Plaza requirement for this combined site with one constructed and one proposed building. Extenuating circumstances are that the recent change in the LUC has eliminated the transfer of development rights in favor of shared development rights. The full site is approximately 51,000sf with already-constructed Phase 1 occupying the northern 34,000sf and Phase 2 occupying the southern 17,000sf. Per the City of Bellevue Planning Department, Phase 2 is obligated to provide Open Space for the combined parcels to realize the height and area potential for the combined site. **The Director may approve an Outdoor Plaza to a minimum size of 3,000sf.** An Open Space of 3,216sf, or 19% of the southern site, is proposed. Further, the code describes a space that is “predominantly open from above”. The proposed rectangular Outdoor Plaza is thirty percent open to sky with a 25’ high ceiling over a covered portion of the plaza. The plaza is fully open to the street along the long dimension at NE 10<sup>th</sup> Street. All other itemized Design Criteria for an Outdoor Plaza are fully met. **Please see the attached images.**

### Written Responses to the Departure Decision Criteria in LUC 20.25A.030.D.1.2:

- i. The resulting design will **advance a Comprehensive Plan goal** or policy objective that is not adequately accommodated by a strict application of the Land Use Code; **AND**
- It could be argued that the resulting amenities within the podium structure have greater value to the City than a larger open space on this compact site. The proposed condominium is adjacent to other residential projects in need of neighborhood services.
  - It could be argued that this south-facing open space, partially covered by the tower footprint, provides unique and coveted protected outdoor seating, better suited for our climate.
  - It could be argued that a three-story high exterior space provides a memorable street corner that creates identity in a way a ubiquitous park edge or a retail edge cannot. The Comprehensive plan encourages a variety of open space experiences.

The following excerpts have influenced the final design of the Outdoor Plaza and the shaping of the adjacent spaces that contribute to the activation of the street. The Bellevue Comprehensive Plan envisions a 'Great Place Strategy'. It states that while affected by many outside influences, the city will continue to grow in a non-linear progression measured as:

- **VIABILITY-** (transportation/ housing/ jobs/ critical mass)
- **LIVABILITY-** (rich in resources/ open space)
- **MEMORABILITY-** (strong, clear identities, unforgettable aesthetic)

| Page | Expectation   |
|------|---|
| 80.  | Primary Urban Center for the Eastside   |
| 82.  | Graduate to a <b>higher level of livability</b>   |
| 83.  | Take pressure of existing Bellevue neighborhoods though density in DT, with <b>amenities</b>  |
| 84.  | Calling on each neighborhood district to be <b>unique</b> . Vision for DT is dense with high pedestrian orientation   |
| 85.  | <b>Serve surrounding residential areas</b> with amenities areas (appeal to the drive-bys to return- perhaps walking from nearby neighborhoods)  |
| 87.  | Provide range of residential types  |
| 88.  | Create an aesthetically pleasing <b>urban environment</b>   |
| 89.  | Create a pedestrian environment with a <b>sense of activity, enclosure, and protection</b>  |
| 90.  | NE 10th Street is part of the frequent transit network (and can serve commuters with services). Streets are also public spaces where community members gather to play, to talk, to explore,. Shared spaces express the character of the community. Enhance the appearance and function of the street and sidewalk. Prioritize pedestrian <b>activity, access, comfort, and safety</b> |
| 93.  | The evolution of the neighborhoods will present an opportunity to <b>gracefully link a literal and symbolic expression throughout the entire downtown</b> . An example may be the use of water. Park/canal. The City is to incentivize developers to implement a major unifying feature   |

|      |   |
|------|---|
| 94.  | Northwest Village currently provides a wide array of neighborhood-oriented retail and services          |
| 95.  | Continue to provide <b>neighborhood-oriented</b> retail   |
| 100. | Open space provided by both the public and private sectors are a <b>key component to a livable city</b> |
| 101. | We are one half block from key intersection that is scheduled to be open space                          |

ii. The resulting design will be **more consistent with the purpose and intent of the Land Use Code; AND**

We respectfully contend that we have met the Planning Department challenge to provide a variety of possible options, have vetted them with the City, and in the spirit of cooperation have found solutions for public and private interests that exceed LUC 20.25A. 030.D.1.b as follows:

**In Response to Open Space – LUC 20.25A.160.E**

**Guidelines**

- a. Capitalize on elements of natural environment, planned parks, outdoor plazas, & open space
- b. Orient gathering places & walkways toward parks & open space
- c. Include elements that engage the natural environment
- d. Locate building to take advantage of adjacent open spaces
- e. Create attractive views & focal points
- f. Use open space to provide through-block pedestrian connections
- g. Encourage year-round use
- h. Define and animate the edges of public open space
- i. Provide ADA access
- j. Provide weather protection
- k. Use artistic elements & water features
- l. Use high quality, function, & environmentally sustainable design element
- m. Maximize safety and comfort
- n. Provide electrical hookups & areas for staging events
- o. Avoid vehicular activities in open space
- p. Employ decorative lighting

iii. The modification is the **minimum reasonably necessary** to achieve the Comprehensive Plan objective or **Land Use Code intent; AND**

*In the transition to the revised Bellevue Land Use Code, MZA provided several alternative site plans to the City, per their request. ‘Outdoor Plaza’ viability was central to the discussions, and ultimately the City selected our Scheme B\* as the version that would be allowed, subject to development of design. MZA then provided several iterations to the City for comment prior to responding to the **December 2017** MRP Comment Letter in **September 2018**. In October 2018, MZA submitted the ADR application, which is currently being reviewed by the City in a joint MDP/ADR process.*

iv. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;  
There are no conflicts with the Administrative Departure criteria.

**OR**

~~v. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).~~

end

## DEPARTURE 5

REQUEST TO DEPART FROM  
LUC 20.2A.170.C.1.a  
EXEMPT ACTIVE USE  
WEATHER PROTECTION

## ADMINISTRATIVE DEPARTURE REQUEST FORM

Permit #:17-126596-LP & 18-124370-LD

Project Name: MIRA 2

Administrative Departure requested for LUC: Insert Code Section here

Provide written responses using this form (in Word format) to

1) describe the Departure requested and

2) to provide written responses to the Departure Approval Criteria in LUC 20.25A.030.D.

Provide a *separate* Administrative Departure Request Form for each Departure requested.

Response sections below will expand to fit your answers as more space is needed.

Refer to Land Use Code for complete wording and requirements at:

<https://bellevue.municipal.codes/LUC>

### Written Description of Departure Being Requested:

Provide a written narrative below, describing the departure being requested (reason for request, design, dimensions, etc.) and how Departure fits into the design of the project as a whole. Attach diagrams, plans, and/or renderings as needed to this Administrative Departure Request Form to adequately describe the Departure.

City of Bellevue Comment, 6/3/19:

- a. The proposed exempt Active Use space located at the southwest corner of the Phase 2 residential lobby does not meet weather protection standards in LUC 20.25A.170. B.1.b.ii as follows:
- 75% of the façade length
  - A minimum of 6 feet deep
  - A maximum height of 12 feet above finished grade per LUC 20.25A.170.A.2.b.viii

MZA: The negotiated size and location of the Outdoor Plaza includes Active Use spaces to comply with 50% frontage requirements. The majority portion (70%) of Active Use is at the southeast corner of the building and includes 100% weather protection. The minority portion (30%) of the Active Use is near the residence entrance at the southwest corner of the building. More than half of the minority portion is sheltered by the high ceiling of the covered portion of the Open Space, providing some weather protection but with it the benefit of western sunlight into the plaza space. For this minority portion of frontage, the Applicant requests a departure from the numerical standards of LUC 20.25A 170 for weather protection as an appropriate balance of functional benefits and the quality of exterior environment of the Open Plaza, in total. It should be noted that the Applicant has also provided more than 95% Weather Protection along the original Build-to-Line. Please refer to images shown on document A0.8.

### Written Responses to the Departure Decision Criteria in LUC 20.25A.030.D.1.2:

- i. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; **AND**

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

- ii. The resulting design will be more consistent with the purpose and intent of the Land Use Code; **AND**

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

- iii. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; **AND**

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

- iv. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;

**OR**

- v. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

## DEPARTURE 6

REQUEST TO DEPART FROM  
LUC 20.25A.020.A  
BUILD-TO-LINE

## ADMINISTRATIVE DEPARTURE REQUEST FORM

Permit #:17-126596-LP & 18-124370-LD

Project Name: MIRA 2

Administrative Departure requested for LUC: Insert Code Section here

Provide written responses using this form (in Word format) to

- 1) describe the Departure requested and
- 2) to provide written responses to the Departure Approval Criteria in LUC 20.25A.030.D. Provide a *separate* Administrative Departure Request Form for each Departure requested.

Response sections below will expand to fit your answers as more space is needed.

Refer to Land Use Code for complete wording and requirements at:

<https://bellevue.municipal.codes/LUC>

### Written Description of Departure Being Requested:

Provide a written narrative below, describing the departure being requested (reason for request, design, dimensions, etc.) and how Departure fits into the design of the project as a whole. Attach diagrams, plans, and/or renderings as needed to this Administrative Departure Request Form to adequately describe the Departure.

City of Bellevue Comment, 6/3/19:

- a. A portion of the Phase 2 building does not meet the back of the required sidewalk as required in LUC 20.25A.020.A DT-Build-To Line to accommodate the Outdoor Plaza. The Code allows an applicant to request a re-designation of the build-to-line as indicated in this section.

MZA: The negotiated location of the Outdoor Plaza is set back from the sidewalk approximately 30 feet along NE 10<sup>th</sup> Street. The Applicant requests an adjustment of the Build-To Line to the intersection of the dimensioned plaza edge and the building face north of the sidewalk, shown on the plan document A0.4. and A2.1.

### Written Responses to the Departure Decision Criteria in LUC 20.25A.030.D.1.2:

- i. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; **AND**

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

ii. The resulting design will be more consistent with the purpose and intent of the Land Use Code; **AND**

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

iii. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; **AND**

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

iv. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;

**OR**

v. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).

MZA: Through negotiations with the City, it has been determined that the goals of the Comprehensive Plan are supported through the establishment of the Open Plaza of the size and location shown on these drawings. Refer to Departure Request #8 for establishment of the Open Plaza, submitted in cycle number 2 in March 2019.

## DEPARTURE 7

REQUEST TO DEPART FROM  
LUC 20.25A.080.F.2  
COMPACT PARKING

## ADMINISTRATIVE DEPARTURE REQUEST FORM

Permit #:17-126596-LP & 18-124370-LD

Project Name: MIRA 2

**Administrative Departure requested for LUC: LUC 20.25A.080.F.2:**

*"Compact Parking: This subsection F.2 supersedes LUC 20.20.590.K.7. The Director may approve through an Administrative Departure pursuant to LUC 20.25A.030.D.1, the design and designation of up to 65% of the spaces for use by compact cars."*

**Refer to Land Use Code for complete wording and requirements at:**

<https://bellevue.municipal.codes/LUC>

### Written Description of Departure Being Requested:

Provide a written narrative below, describing the departure being requested (reason for request, design, dimensions, etc.) and how Departure fits into the design of the project as a whole. Attach diagrams, plans, and/or renderings as needed to this Administrative Departure Request Form to adequately describe the Departure.

**Response:** The City of Bellevue Land Use Code Section 20.25A.080.F.2 allows up to 65% of the required parking stalls in the Downtown to be for compact cars through an Administrative Departure. The applicant is proposing 70 stalls, or 35% of the 202 parking stalls provided in Phase 2, be designated for compact cars. The applicant is choosing to provide flexibility in parking choices for future residents, visitors and retail/restaurant customers.

### Written Responses to the Departure Decision Criteria in LUC 20.25A.030.D.1.2:

- i. The resulting design will advance a Comprehensive Plan goal or policy objective that is not adequately accommodated by a strict application of the Land Use Code; **AND**

**Response:** The City of Bellevue's Comprehensive Plan promotes Downtown livability through provisions made for the needs and interests of Downtown residents, employees, shoppers, and visitors. The parking specifications for the MIRA 2 project are specific to the intended user. The applicant has identified compact parking stalls as a provision to accommodate future residents, visitors and retail/restaurant customers arriving in compact cars. (Policy S-DT-1 and Policy S-DT-149).

- ii. The resulting design will be more consistent with the purpose and intent of the Land Use Code; **AND**

**Response:** The City of Bellevue Land Use Code Section 20.25A.080.F.2 allows up to 65% of the required parking stalls in the Downtown to be for compact cars through an Administrative Departure. The applicant is proposing 70 stalls, or 35% of the 202 parking stalls provided in Phase 2, to be designated for compact cars. Elsewhere in the City of Bellevue Land Use Code compact parking is allowed outright. The applicant is choosing to provide flexibility in parking choices future residents, visitors and retail/restaurant customers, and as a result, the project can provide a greater number of overall parking spaces.

- iii. The modification is the minimum reasonably necessary to achieve the Comprehensive Plan objective or Land Use Code intent; **AND**

**Response:** The City of Bellevue Land Use Code Section 20.25A.080.F.2 allows up to 65% of the required parking stalls in the Downtown to be for compact cars. The applicant is proposing 70 stalls, or 35% of the 202 parking stalls provided in Phase 2, to be designated for compact cars. The 35% compact stalls proposed is the minimum necessary to achieve the Comprehensive Plan objective and Land Use Code intent described above.

- iv. Any Administrative Departure criteria required by the specific terms of the Land Use Code have been met;  
**OR**
- v. The modification is reasonably necessary to implement or ensure consistency with a departure allowed through a Development Agreement approved pursuant to subsection D.2 of this section (LUC 20.25A.030.D.2).

**Response:** The specific terms to grant an Administrative Departure to allow 70 stalls, or 35% of the 202 parking stalls provided in Phase 2, to be designated for compact cars have been met as described above.

**ATTACHMENT D**

**SEPA CHECKLIST**



REV 2 10-11-18

DEVELOPMENT SERVICES DEPARTMENT  
450 110<sup>TH</sup> AVENUE NE  
BELLEVUE, WA 98009-9012

## **SEPA Environmental Checklist**

If you need assistance in completing the checklist or have any questions regarding the environmental review process, please visit the Land Use Desk in the Permit Center between 8 a.m. and 4 p.m., Monday through Friday (Wednesday, 10 to 4) or call or email the Land Use Division at 425-452-4188 or [landusereview@bellevuewa.gov](mailto:landusereview@bellevuewa.gov). Assistance for the hearing impaired: Dial 711 (Telecommunications Relay Service).

### ***Purpose of checklist:***

The City of Bellevue uses this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

### ***Instructions for applicants:***

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies and reports. Please make complete and accurate answers to these questions to the best of your ability in order to avoid delays.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The City may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

**PLEASE REMEMBER TO SIGN THE CHECKLIST.** Electronic signatures are also acceptable.

Updated by Mark C. Brennan  
(MCB) on May 22, 2019

REVIEWED BY MCB  
(MARK C. BRENNAN)  
ON OCTOBER 12, 2018

Received

OCT 10 2018

Permit Processing

## A. Background [\[help\]](#)

1. Name of proposed project, if applicable: [\[help\]](#)  
*Mirador Phase 2*
2. Name of applicant: [\[help\]](#)  
~~*Create World is Owner / Developer.*~~  
*MZA Architects is representative.*
3. Address and phone number of applicant and contact person: [\[help\]](#)  
*Create World*  
~~*Contact Eugene Hu / Rod Leung*~~  
~~*10230 NE 10<sup>th</sup> Street*~~  
~~*Bellevue WA 98004*~~  
~~*425.453.666*~~  
~~*ehu@create-world.us*~~

**Shintex Global Investment Holdings. LLC.**  
**325 118th Avenue SE, Suite 101**  
**Bellevue, WA. 98005**
4. Date checklist prepared: [\[help\]](#)  
*October 11, 2018*
5. Agency requesting checklist: [\[help\]](#)  
*City of Bellevue*
6. Proposed timing or schedule (including phasing, if applicable): [\[help\]](#)  
*Project ground-breaking is projected for July 2019*
7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [\[help\]](#)  
*No future activity*
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [\[help\]](#)  
*A phase 1 report (environmental, not project "phase 1") has been completed. Attached*
9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [\[help\]](#)  
*No, Only City of Bellevue permit processes are required for project.*
10. List any government approvals or permits that will be needed for your proposal, if known. [\[help\]](#)  
*Retail and Restaurants will need Tenant Improvement and Health Dept approvals. MDP (MASTER DEVELOPMENT PLAN), DESIGN REVIEW AND ALL ANCILLARY PERMITS.*
11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) [\[help\]](#)  
~~*The Second Phase*~~ *site is 17,051 SF per King County Records.*

**Phase 2**

**Updated by MCB**  
**05-22-19**

The Phase 2 proposed FAR is 130,748 SF. The combined Phase 1 and Phase 2 proposed FAR is 255,800 SF.

5,737 SF Phase 2 anticipates a unit count of 150 units and retail of appx 3,000 SF. The project gross square footage is approximately 233,000 sf. Underground parking is provided.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [\[help\]](#)

former 10232  
Phase 2 Site address per King County Records is 10224 NE 10<sup>th</sup> street, Bellevue WA 98004. It is the ~~current~~ location of Papa Johns Pizza and Create World offices, with Phase 1 to the north. Legal Description is: MOUNTAIN VIEW TRS UNREC VAL OF UNDEEDED STS & ALLEYS INCL IN ADJ LOT VAL LESS RD and MOUNTAIN VIEW TRS UNREC PCL A BELLEVUE BLA #15-122837 LW REC #20151020900001 SD BLA BEING LOT 2 & 3 BLK 3 SD UNREC MOUNTAIN VIEW TRS

Plat Block: 3, Plat Lot 1

## B. Environmental Elements [\[help\]](#)

### 1. Earth [\[help\]](#)

- a. General description of the site: [\[help\]](#) (select one): ☒ Flat, ☐ rolling, ☐ hilly, ☐ steep slopes, ☐ mountainous, other: *Click here to enter text.*
- b. What is the steepest slope on the site (approximate percent slope)? [\[help\]](#)  
*Appx 3% in localized areas*
- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. [\[help\]](#)  
*Geo tech repost calls out a sub-surface condition call "Vashon Glacial Till" which is a mix of silt sand and gravel. No agricultural soils or land exist.*
- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. [\[help\]](#)  
*No surface conditions or history of unstable soils*
- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. [\[help\]](#)  
*Project anticipates excavation for underground parking. Little to no fill or significant grading. Amount of excavation is estimated at 21,000 Cy Yds for Phase 2. Phase 1 is already excavated and complete.*
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. [\[help\]](#)

*No significant erosion anticipated with excavation. Civil plans will call out TESC (Temporary Erosion Control) plans during permit process. Minor erosion during clearing will be mitigated by Contractor by following Construction Stormwater Pollution Prevention Plan (CSWPPP) which prevents impacts on downstream drainage*

- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? [\[help\]](#)  
*Appx 95%*
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: [\[help\]](#)  
*TESC plans will indicate measures, including silt fencing, marked construction entrances for dirt control on roads and baker tanks for de-watering activities.*

## 2. Air [\[help\]](#)

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. [\[help\]](#)  
*Vehicle and equipment exhaust during construction. Vehicle exhaust from visitors and occupant of condos. None known during maintenance. Quantities unknown. Dust and Debris during demolition will be hosed down, and perimeter fencing will have fabric to mitigate off-site dust emissions into air. Contractor will utilize vacuum grinders during concrete grinding.*
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. [\[help\]](#)  
*None known*
- c. Proposed measures to reduce or control emissions or other impacts to air, if any: [\[help\]](#)  
*None proposed*

## 3. Water [\[help\]](#)

### a. Surface Water :

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. [\[help\]](#)  
*No*
- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. [\[help\]](#)  
*No*

- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. [\[help\]](#)  
*None*
- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. [\[help\]](#)  
*No*
- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. [\[help\]](#)  
*No*
- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. [\[help\]](#)  
*No*

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. [\[help\]](#)  
*No*
- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. [\[help\]](#)  
*No waste materials will be discharged.*

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. [\[help\]](#)  
*Storm Water runoff source will be limited to rain that falls directly onto the site. Runoff from the site will be storm water only. This storm water runoff will be collected in roof and courtyard drains and discharged into the existing municipal storm drain system in NE 10<sup>th</sup> Street. This municipal storm drain system discharges to Meydenbauer Bay.*
- 2) Could waste materials enter ground or surface waters? If so, generally describe. [\[help\]](#)  
*Only by accident. During construction, contractor will have emergency clean-up and kits suitable for spills and minor accidents.*
- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If

so, describe. [help]

*No, Current and future site is flat, drainage occurs at street slopes*

- d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: [help]

*Site and sidewalk grading will allow surfaces to drain to streets similar to current.*

#### 4. Plants [help]

- a. Check the types of vegetation found on the site: [help]

☒deciduous tree: alder, maple, aspen, other: *Click here to enter text.*

☐evergreen tree: fir, cedar, pine, other: *Click here to enter text.*

☒shrubs

☐grass

☐pasture

☐crop or grain

☐Orchards, vineyards or other permanent crops.

☐wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other: *Click here to enter text.*

☐water plants: water lily, eelgrass, milfoil, other: *Click here to enter text.*

☐Other types of vegetation: *Click here to enter text.*

- b. What kind and amount of vegetation will be removed or altered? [help]

*All current vegetation will be removed*

- c. List threatened and endangered species known to be on or near the site. [help]

*None known*

- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: [help]

*Proposed landscaping will be higher in quality and quantity to meet City's requirements for street trees, sidewalk landscaping enhancements, etc. AND DOWNTOWN GREEN & SUSTAINABILITY REQUIREMENTS*

- e. List all noxious weeds and invasive species known to be on or near the site. [help]

*None known*

#### 5. Animals [help]

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. [help]

Examples include:

birds: ☐hawk, ☐heron, ☐eagle, ☒songbirds, other: *Click here to enter text.*

mammals: ☐deer, ☐bear, ☐elk, ☐beaver, other: *Click here to enter text.*

fish: ☐bass, ☐salmon, ☐trout, ☐herring, ☐shellfish, other: *Click here to enter*

text.

- b. List any threatened and endangered species known to be on or near the site. [\[help\]](#)  
*None known*
- c. Is the site part of a migration route? If so, explain. [\[help\]](#)  
*Not known*
- d. Proposed measures to preserve or enhance wildlife, if any: [\[help\]](#)  
*None proposed*
- e. List any invasive animal species known to be on or near the site. [\[help\]](#)  
*None known*

## 6. Energy and Natural Resources [\[help\]](#)

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. [\[help\]](#)  
*Electric for power and heating needs.  
Gas for cooking and water heating.*
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. [\[help\]](#)  
*Only in the immediate vicinity to the north.*
- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: [\[help\]](#)  
*None proposed at this time*

## 7. Environmental Health [\[help\]](#)

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. [\[help\]](#)  
*No*
  - 1) Describe any known or possible contamination at the site from present or past uses. [\[help\]](#)  
*Phase 1 (Environmental, not "project" phase) report indicates an underground storage tank, but no known contamination can be found or evidence of leaking. To be monitored during construction if issues to be found.*
  - 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. [\[help\]](#)  
*None known*

- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. [\[help\]](#)

*No toxic or hazardous chemicals as a result of project. During construction, contractor will monitor all materials on site and follow all safety precautions for materials that may cause harm.*

- 4) Describe special emergency services that might be required. [\[help\]](#)

*No special emergency services required.*

- 5) Proposed measures to reduce or control environmental health hazards, if any: [\[help\]](#)

*Contractor will have safety inspector with a plan to mitigate any minor environmental emergencies on site.*

**As conditioned, vehicles and heavy equipment utilized for the construction of the project emit the least amount of air pollution as possible.**

b. Noise [\[help\]](#)

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? [\[help\]](#)

*Typical street noise, urban environment*

- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indi-cate what hours noise would come from the site. [\[help\]](#)

*Construction noise on a temporary basis, final project will have similar urban environment.*

- 3) Proposed measures to reduce or control noise impacts, if any: [\[help\]](#)

*Contractor will follow all City ordinances for working / operational hours. Electric crane and hoists are planned to be used to mitigate machinery noise. Contractor does not allow radios on site.*

**As conditioned, the project will be required to use best available noise abatement technology, provide an acoustical engineer's report that will require additional noise mitigation if interior noise levels exceed 40 dBA in sleeping rooms and 45 dBA in non-sleeping rooms.**

8. Land and Shoreline Use [\[help\]](#)

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. [\[help\]](#)

*Parking for one-story retail facilities on current site.*

- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? [\[help\]](#)

*Site not part of forest or farm space*

- 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how: [\[help\]](#)

*No*

- c. Describe any structures on the site. [help]

*One-story wood frame retail structure at Phase 2 site.*

- d. Will any structures be demolished? If so, what? [help]

*All current structures will be demolished, for phase 2.*

- e. What is the current zoning classification of the site? [help]

*DNTN-MU Overlay B (Phase 2)*

*PERIMETER*

*B-2*

- f. What is the current comprehensive plan designation of the site? [help]

*DNTN ~~MU Overlay B-2~~*

- g. If applicable, what is the current shoreline master program designation of the site? [help]

*Not Applicable*

- h. Has any part of the site been classified as a critical area by the city or county? If so, specify. [help]

*No*

- i. Approximately how many people would reside or work in the completed project? [help]

*150 units are anticipated to house appx 275 persons, with retail providing 10 to 20 workers.*

- j. Approximately how many people would the completed project displace? [help]

*No residents will be displaced.*

- k. Proposed measures to avoid or reduce displacement impacts, if any: [help]

*None proposed*

- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: [help]

*Condos and apartments will increase residential occupancy which is compatible of Downtown livability initiative and this mixed use zone.*

*MAP & DESIGN REVIEW WILL CONSIDER THE PROPOSAL'S COMPATIBILITY WITH EXISTING & PROPOSED*

- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: [help]

*None proposed*

*LAND USE ACTIONS & PLANS*

## 9. Housing [help]

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. [help]

*150 units of middle to high income housing.*

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. [help]

*No housing eliminated*

- c. Proposed measures to reduce or control housing impacts, if any: [help]

None proposed

## 10. Aesthetics [\[help\]](#)

213.24 ft.

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? [\[help\]](#)  
*As submitted, Phase 2 project is ~~app 220'~~ tall with no added antnennas or spires. Principal exterior material is glass and metal panels. Phase 1 is signifcanlty lower in height.*
- b. What views in the immediate vicinity would be altered or obstructed? [\[help\]](#)  
*Phase 1 to north had a few units facing south that will now have some views obstructed by Phase 2.*
- c. Proposed measures to reduce or control aesthetic impacts, if any: [\[help\]](#)  
*Building will be of high-quality materials, easily maintained and high design standards.*

## 11. Light and Glare [\[help\]](#)

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? [\[help\]](#)  
*Vision glass is antipcated to be appx 50% of façade with the balance of the wall materials using cmu, metal panel, and spandrel glass. Metal panels will not be reflective. Glare will be normal for modern construction and variable during the day, changing seasonally. No exceptional glare conditions are presented with this building design.*
- b. Could light or glare from the finished project be a safety hazard or interfere with views? [\[help\]](#)  
*No exceptional glare conditions are presented with this building design..*
- c. What existing off-site sources of light or glare may affect your proposal? [\[help\]](#)  
*None known*
- d. Proposed measures to reduce or control light and glare impacts, if any: [\[help\]](#)  
*Light and glare conditions are expected to be normal for urban design materials and configurations. Mitigation is inherent in the design.*

## 12. Recreation [\[help\]](#)

- a. What designated and informal recreational opportunities are in the immediate vicinity? [\[help\]](#)  
*Downtown Bellevue Park*
- b. Would the proposed project displace any existing recreational uses? If so, describe. [\[help\]](#)

No

- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: [\[help\]](#)

*None proposed*

### 13. Historic and cultural preservation [\[help\]](#)

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. [\[help\]](#)

*No*

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [\[help\]](#)

*None known*

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. [\[help\]](#)

*No assessment needed*

- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. [\[help\]](#)

*No mitigation needed*

### 14. Transportation [\[help\]](#)

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. [\[help\]](#)

*NE 10<sup>th</sup> Street and 103<sup>rd</sup> Avenue NE.*

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? [\[help\]](#)

*Yes, transit service is along NE 10<sup>th</sup> and appx 1 block away at Bellevue Way and 102<sup>nd</sup> street*

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? [\[help\]](#)

*Current site has appx 20 spaces. Phase 2 will provide ~~approximately~~ 135 new underground stalls.*

**160 stalls**

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). [\[help\]](#)

*Improvements required by City of Bellevue including improved sidewalks, pedestrian curb-cut and amenities and others*

required during permit process.

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. [help]  
No

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? [help]

Based on the current planned development, the project is estimated to generate approximately ~~52~~ net new trips to the area during the weekday PM peak hour with approximately 640 daily trips. The trip generation for the site was determined using City of Bellevue new trip rates identified within the Transportation Impact Fee Schedule. The land uses assumed for the analysis which are identified within City of Bellevue trip rates are Residential Condominium (LU #230), Shopping Center (LU #820), and High Turnover Restaurant (LU #932) for the proposed uses and Medical Office (LU #720) and Fast Food Restaurant without Window (LU #933) for the existing uses.

Multi-family Residential

Miscellaneous Retail

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. [help]  
No

- h. Proposed measures to reduce or control transportation impacts, if any: [help]  
Access is off 103<sup>rd</sup> to project taking traffic and entrances off NE 10<sup>th</sup> Street. **VEHICLE DROP-OFF PROPOSED FOR NE 10TH STREET.**

#### 15. Public Services [help]

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. [help]

Increased resident populations may increase school needs.

- b. Proposed measures to reduce or control direct impacts on public services, if any. [help]  
None proposed

#### 16. Utilities [help]

- a. Circle utilities currently available at the site: [help]  
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other

All services above on site. No septic is proposed.

- c. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might

be needed. [\[help\]](#)

*Electricity and gas will be from PSE  
City Water and Sewer services.*

*Telephone and internet services likely from several providers.  
Refuse collection by Republic Services.*

### **C. Signature** [\[help\]](#)

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: \_\_\_\_\_

*Patrick Farley (REN 2)*

Name of signee: *Patrick Farley*

Position and Agency/Organization: *MZA Architects - Project Manager*

Date Submitted: *October 12, 2018*

# **ATTACHMENT E**

## **TRASH/RECYCLING PROVIDER APPROVAL LETTER**



1600 127<sup>th</sup> Ave NE, Bellevue WA 98005  
o 425 452 4762 RepublicBellevue.com

To: Patrick Farley, MZA Architecture

Let this notice service as approval for solid waste collection access for your proposed building site in the City of Bellevue.

Based upon our review of the site plans<sup>1</sup> you submitted on **June 5, 2019** for the property known as: **Mira Phase II** we have determined the following:

Provided that there are no material changes to the site, site development, site conditions, site access or enclosure size, locations or conditions, the proposal is adequate for safe and regular solid waste services aligned to the requirements of the City of Bellevue's current solid waste collection contract.<sup>2</sup>

This approval is provided as informal assistance and is not intended to be viewed as professional design assistance or as a substitute for architectural, design or construction expertise and is intended only to provide practical input from a solid waste collection provider regarding the collecting and transport access for processing those materials from the site.

Thank you, if you have any questions please contact Republic Services.

Sincerely,

Karissa Johnson, Republic Services  
Municipal Contract Administrator  
Karissa.Johnson@republicservices.com

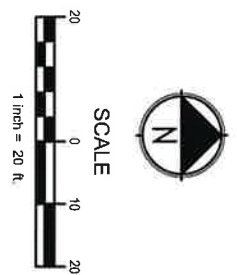
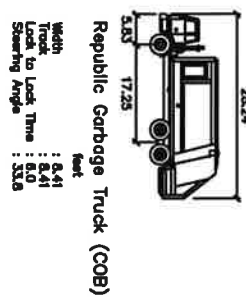
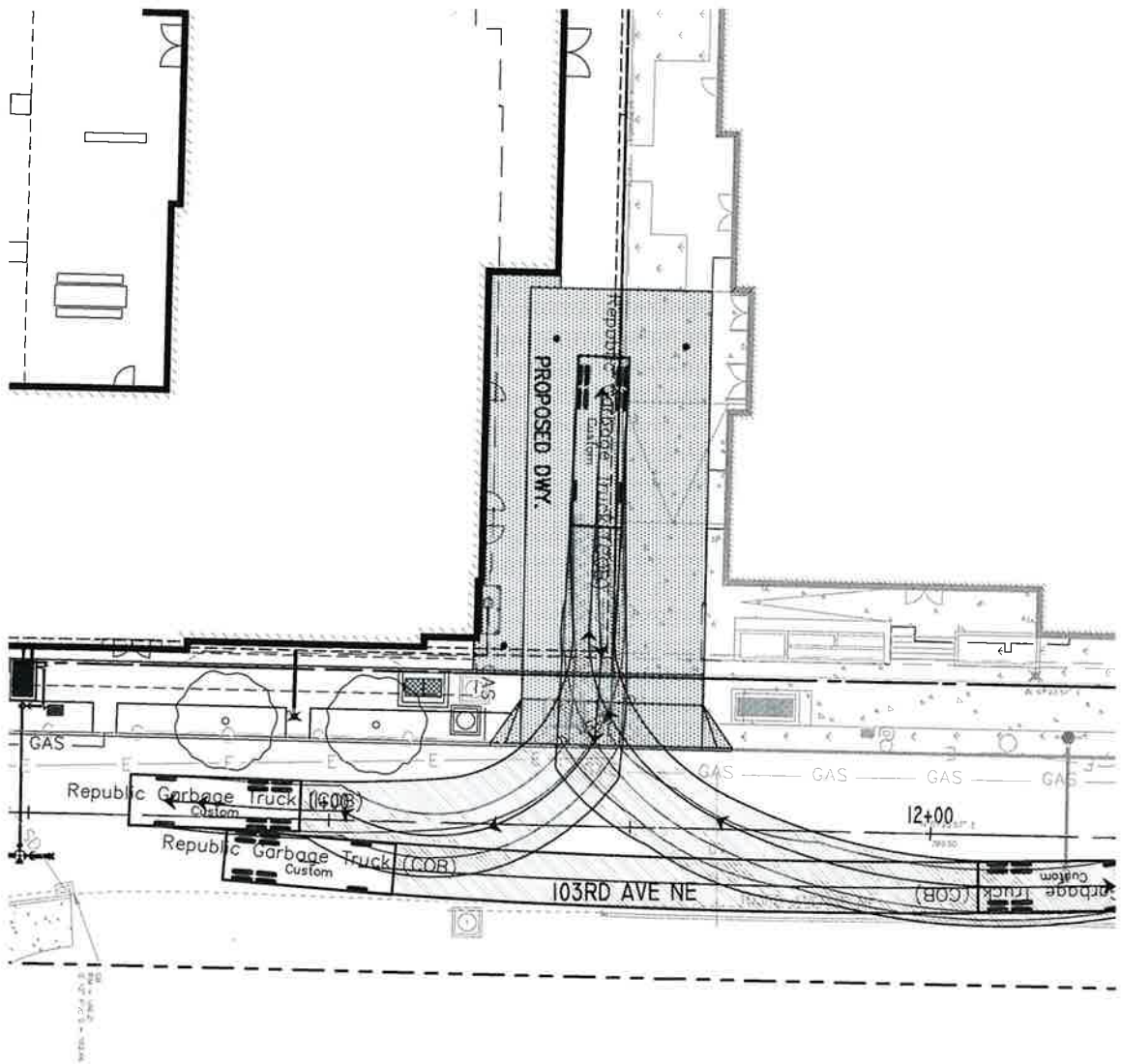
In partnership with the City of Bellevue  
Development Services




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<sup>1</sup> Attached as submitted for tracking reference

<sup>2</sup> This approval does not guarantee service if material changes in construction or by future owners and occupants occurs outside the scope of these plans as drafted. Please resubmit if substantive changes occur before construction completion and future occupancy occur.



|                          |                                   |                           |                    |   |
|--------------------------|-----------------------------------|---------------------------|--------------------|---|
| PROJECT NAME:<br>MIRA II | PROJECT NO:<br>17012-0008         | BY: DAS<br>DATE: 06/04/19 | SHEET NO:<br>C-100 | <br>PHONE: (206) 332-1900<br>WEBSITE: <a href="http://www.dci-engineers.com">www.dci-engineers.com</a><br>CIVIL / STRUCTURAL |
|                          | TITLE:<br>GARBAGE TRUCK AUTO TURN |                           |                    |   |

**ATTACHMENT F**

**CERTIFICATE OF OCCUPANCY**

# CERTIFICATE OF CONCURRENCY

## Mira Phase II

This certificate documents the Transportation Department Director's decision that the development project at 10220 NE 10<sup>th</sup> Street (File No. 18-124370 LD) complies with the requirements of the Traffic Standards Code (BCC 14.10). This decision reserves 100 net new p.m. peak hour trips to that project, subject to Process II appeal of either the concurrency determination or the Design Review decision. This reservation will expire one year from the land use decision date unless a complete building permit application is filed prior to that date (BCC 14.10.040F). At the time of a complete building permit application, the concurrency reservation will remain in effect for the life of that application (BCC 23.05.090H). Upon issuance of the building permit, concurrency is reserved for one year; the applicant may request up to two one-year extensions (BCC 23.05.100E).

  
\_\_\_\_\_  
Director, Transportation Department

6/27/19

\_\_\_\_\_  
Date

Certificate No. 121

**ATTACHMENT G**

**PROJECT DRAWINGS**

## ABBREVIATIONS

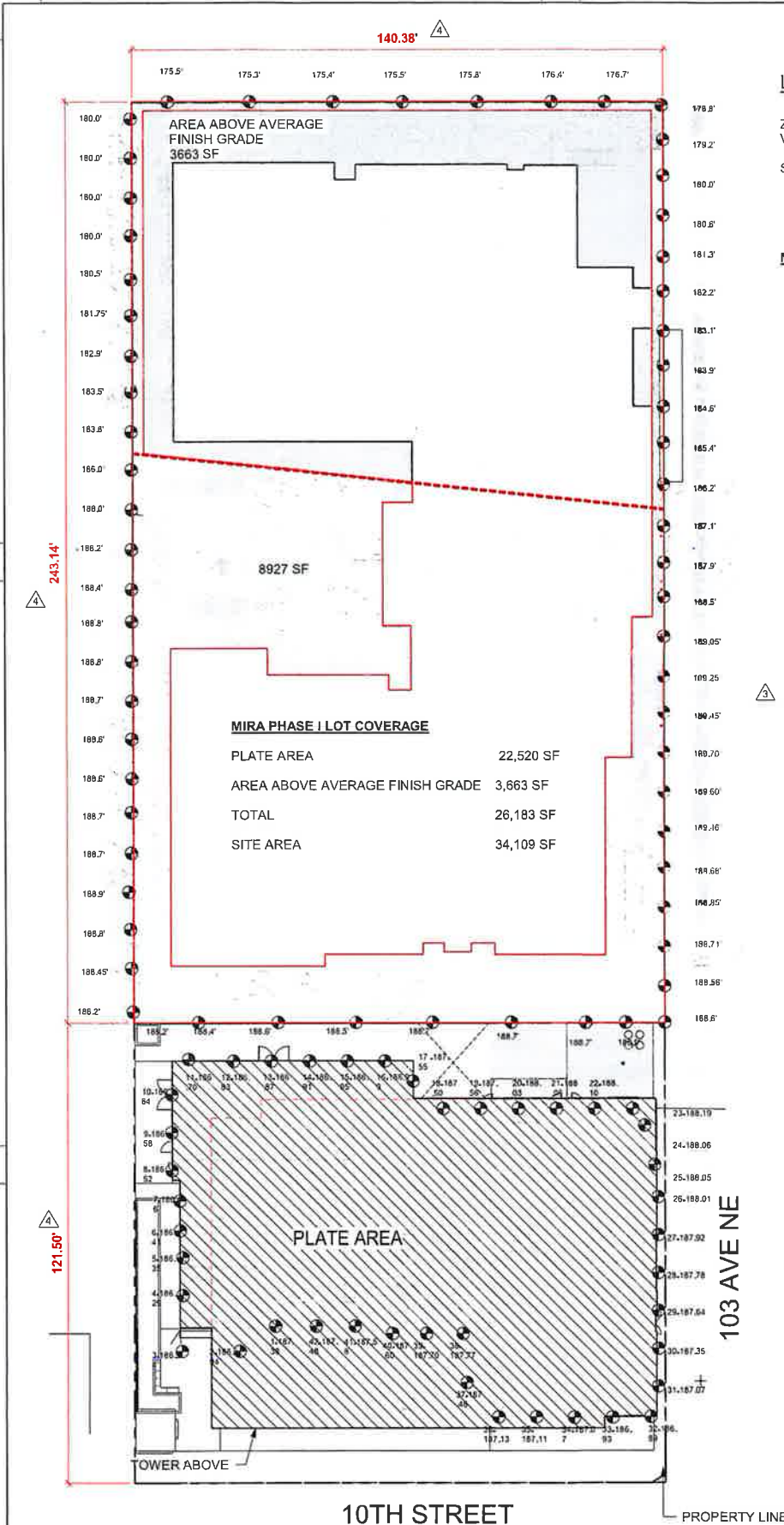
|        |                         |        |                         |      |                        |
|--------|-------------------------|--------|-------------------------|------|------------------------|
| ABV    | ABOVE                   | HM     | HOLLOW METAL            | T&G  | TONGUE & GROOVE        |
| ACOUS  | ACOUSTICAL              | HORZ   | HORIZONTAL              | TEL  | TELEPHONE              |
| ACT    | ACOUSTICAL CEILING TILE | HR     | HOUR                    | TER  | TERRAZZO               |
| AD     | AREA DRAIN              | HT     | HEIGHT                  | THK  | THICK                  |
| ADJ    | ADJUSTABLE              |        |                         | THR  | THRESHOLD              |
| AFF    | ABOVE FINISHED FLOOR    | ID     | INNER DIAMETER          | TO   | TOP OF                 |
| ALT    | ALTERNATE               | INCAN  | INCANDESCENT            | TYP  | TYPICAL                |
| ALUM   | ALUMINUM                | INSUL  | INSULATION              |      |                        |
| ARCH   | ARCHITECT               | INT    | INTERIOR                | UC   | UNDERCUT               |
|        |                         |        |                         | UNFN | UNFINISHED             |
| B.O.   | BOTTOM OF               | JAN    | JANITOR                 | UNO  | UNLESS NOTED OTHERWISE |
| BALC   | BALCONY                 | JST    | JOIST                   | UON  | UNLESS OTHERWISE NOTED |
| BD     | BOARD                   | JT     | JOINT                   | UTL  | UTILITY                |
| BET    | BETWEEN                 |        |                         |      |                        |
| BLDG   | BUILDING                | LAM    | LAMINATE                | VCT  | VINYL COMPOSITION TILE |
| BLKG   | BLOCKING                | LAV    | LAVATORY                | VERT | VERTICAL               |
| BLW    | BELOW                   | LB(S)  | POUNDS                  | VIF  | VERIFY IN FIELD        |
| BM     | BEAM                    | LDG    | LANDING                 | VTR  | VENT TERMINATION PIPE  |
| BOT    | BOTTOM                  | LT     | LIGHT                   | VWC  | VINYL WALL COVERING    |
| BRKT   | BRACKET                 |        |                         |      |                        |
| BULKH  | BULKHEAD                | MAX    | MAXIMUM                 | W    | WEST                   |
| BUR    | BUILT UP ROOF           | MELH   | MELHMANICAL             | WI   | WITH                   |
|        |                         | MEMB   | MEMBRANE                | W/O  | WITHOUT                |
|        |                         | MHK    | MANUFACTURER            | WC   | WATERCLOUSE            |
|        |                         | MIN    | MINIMUM                 | WIN  | WINDOW                 |
|        |                         | MISC   | MISCELLANEOUS           | WP   | WATERPROOF             |
|        |                         | MO     | MASONRY OR CONCRETE     | WS   | WETSTACK               |
|        |                         | MTD    | MOUNTED                 | WSTC | WAINSCOT               |
|        |                         | MTL    | METAL                   | WT   | WEIGHT                 |
|        |                         |        |                         |      |                        |
|        |                         | N      | NORTH                   |      |                        |
|        |                         | NIC    | NOT IN CONTRACT         |      |                        |
|        |                         | NO     | NUMBER                  |      |                        |
|        |                         | NOM    | NOMINAL                 |      |                        |
|        |                         | NTS    | NOT TO SCALE            |      |                        |
|        |                         |        |                         |      |                        |
|        |                         | O.P.   | OVERFLOW PIPE           |      |                        |
|        |                         | OA     | OVERALL                 |      |                        |
|        |                         | OC     | ON CENTER               |      |                        |
|        |                         | OD     | OUTSIDE DIAMETER        |      |                        |
|        |                         | OFF    | OFFICE                  |      |                        |
|        |                         | OH     | OPPOSITE HAND           |      |                        |
|        |                         | OPG    | OPENING                 |      |                        |
|        |                         | OPP    | OPPOSITE                |      |                        |
|        |                         |        |                         |      |                        |
|        |                         | PART   | PARTITION               |      |                        |
|        |                         | PERM   | PERIMETER               |      |                        |
|        |                         | PG     | PART GRADE              |      |                        |
|        |                         | PLAM   | PLASTIC LAMINATE        |      |                        |
|        |                         | PLAS   | PLASTER                 |      |                        |
|        |                         | PLYWD  | PLYWOOD                 |      |                        |
|        |                         | PR     | PART                    |      |                        |
|        |                         | PT     | PAINT                   |      |                        |
|        |                         | PTD    | PAINTED                 |      |                        |
|        |                         |        |                         |      |                        |
|        |                         | R      | RISER                   |      |                        |
|        |                         | RAD    | RADIUS                  |      |                        |
|        |                         | RCP    | REFLECTED CEILING PLAN  |      |                        |
|        |                         | RD     | ROOF DRAIN              |      |                        |
|        |                         | RE     | REFER                   |      |                        |
|        |                         | REF    | REFRIGERATOR            |      |                        |
|        |                         | REIN   | REINFORCED              |      |                        |
|        |                         | REQD   | REQUIRED                |      |                        |
|        |                         | RESL   | RESILIENT               |      |                        |
|        |                         | RM     | ROOM                    |      |                        |
|        |                         |        |                         |      |                        |
|        |                         | RO     | ROUGH OPENING           |      |                        |
|        |                         | RTU    | ROOF TOP UNIT           |      |                        |
|        |                         | S      | SOUTH                   |      |                        |
|        |                         | SAFB   | SOUND ATTENUATION FIBER |      |                        |
|        |                         | BATT   | BATT                    |      |                        |
|        |                         |        |                         |      |                        |
|        |                         | SC     | SCUPPER                 |      |                        |
|        |                         | SCHED  | SCHEDULE                |      |                        |
|        |                         | SEAL   | SEALANT                 |      |                        |
|        |                         | SECT   | SECTION                 |      |                        |
|        |                         | SF     | SQUARE FOOT             |      |                        |
|        |                         | SHT    | SHEET                   |      |                        |
|        |                         | SM     | SIMILAR                 |      |                        |
|        |                         | SPEC   | SPECIFICATION           |      |                        |
|        |                         | SQ     | SQUARE                  |      |                        |
|        |                         | SS     | STAINLESS STEEL         |      |                        |
|        |                         | STD    | STANDARD                |      |                        |
|        |                         | STL    | STEEL                   |      |                        |
|        |                         | STOR   | STORAGE                 |      |                        |
|        |                         | STRUCT | STRUCTURAL              |      |                        |
|        |                         | SUSP   | SUSPENDED               |      |                        |
|        |                         | SYM    | SYMMETRICAL             |      |                        |
|        |                         |        |                         |      |                        |
|        |                         | T      | TREAD                   |      |                        |
|        |                         |        |                         |      |                        |
| H.W.H. | HOT WATER HEATER        |        |                         |      |                        |
| HC     | HANDICAPPED             |        |                         |      |                        |
| HOWD   | HARDWOOD                |        |                         |      |                        |
| HOWR   | HARDWARE                |        |                         |      |                        |

## GENERAL NOTES

- CONTRACTOR IS SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING BUT NOT LIMITED TO SAFETY, WEATHER, WEAR, AND PROTECTION OF PROJECT WORK AREA AND ADJACENT PROPERTY. DURING THE PERFORMANCE OF THE WORK, DRAWINGS DO NOT INCLUDE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY. CONTRACTOR TO MAINTAIN ALL EXISTING AND EXISTING COMPONENTS AND COMPLY WITH LOCAL GOVERNING AUTHORITIES REQUIREMENTS FOR THE SITE.
- ALL PERMITS OBTAINED IN THE SPECIFICATIONS AND CONTRACT AS PROVIDED BY CONTRACTOR ARE THE CONTRACTOR'S SOLE RESPONSIBILITY. RESPONSIBILITIES INCLUDING COSTS, DRAWINGS TO OBTAIN PERMITS, SCHEDULING THE SUBMITTAL AND RELEASE DATES AND ANY REVIEWS REQUIRED BY GOVERNING AUTHORITIES.
- THE CONTRACTOR IS REQUIRED TO COMPLY WITH ALL APPLICABLE REGULATIONS AND CODES OF THE GOVERNING AUTHORITIES HAVING JURISDICTION (FEDERAL, STATE AND LOCAL).
- DO NOT COMMENCE WORK UNTIL CONDITIONS ARE ACCEPTABLE TO ALL CONCERNED PARTIES INCLUDING GOVERNING AUTHORITIES.
- CONTRACTOR SHALL PROVIDE METHODS, MEANS AND FACILITIES REQUIRED TO PREVENT CONTAMINATION OF SOIL, WATER OR ATMOSPHERE.
- CONTRACTOR SHALL ENSURE MINIMAL INTERFERENCE WITH EXISTING ROADS, STREETS, SIDEWALKS, PARKING FACILITIES AND ADJACENT FACILITIES.
- ALL SALVAGE WILL BECOME PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. PROMPTLY REMOVE FROM SITE AT CONTRACTOR'S EXPENSE ON A DAILY BASIS AND LEGALLY DEPOSE OF IT, COORDINATE DUMPSTER LOCATIONS WITH OWNER.
- ALL MECHANICAL, ELECTRICAL AND SPRINKLER TO BE UNDER SEPARATE PERMITS FROM CONTRACTORS LISTED IN THE PROJECT TEAM. VERIFY LOCATION OF EXISTING MECHANICAL, ELECTRICAL AND ALL OTHER UTILITIES WITHIN AND SERVING AREAS TO BE DEMOLISHED OR REVEALED AND CAP OR RELOCATE AS NECESSARY. COORDINATE RELOCATION OF EQUIPMENT TO BE RELOCATED, MAINTAIN SERVICE ON TEMPORARY BASIS AS REQUIRED FOR EQUIPMENT TO BE USED THROUGHOUT THE RENOVATION SCHEDULE. ENSURE NO INTERRUPTIONS TO EXISTING SERVICES OR UTILITIES DURING THE WORK UNLESS SPECIFICALLY OUTLINED AND APPROVED BY OWNER.
- VERIFY LOCATION OF ALL VISIBLE GATES, LIGHT FIXTURES AND SPRINKLER HEADS WITH ARCHITECT. CONTRACTOR TO VERIFY CLEARANCE AND OTHER EXISTING CONDITIONS FOR CONFLICTS WITH NEW WORK.
- ALL CONSTRUCTION TO COMPLY WITH CURRENT BC CONSTRUCTION STANDARDS FOR TYPE OF CONSTRUCTION NOTED.
- VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE JOB BEFORE PROCEEDING WITH THE WORK. EXPANDED: IF ANY ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY FOR SETTLEMENT.
- THE PLAN DIMENSIONS ARE SHOWN AS FOLLOWS UNLESS OTHERWISE NOTED:  
A. FACE OF STUD FOR NEW PARTITIONS AND TURNED WALLS UNLESS NOTED OTHERWISE.  
B. FACE OF MASONRY OR CONCRETE WALLS.  
C. TO THE COLUMN GRID LINES.  
D. TO THE FINISHED FACE OF EXISTING WALLS.
- DO NOT SCALE THE DRAWINGS. IF A CONFLICT IN THE DIMENSIONS IS ENCOUNTERED NOTIFY THE ARCHITECT IMMEDIATELY FOR A CLARIFICATION. FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 3 INCHES FROM FACE OF STUD IN ADJACENT RIGHT ANGLE WALL TO EDGE OF DOOR OPENING OR CENTERED BETWEEN ROOM PARTITIONS, AS NOTED.
- ALL FIRE RATED WALLS, CORRIDOR PARTITIONS AND SHOCK PARTITIONS ARE TO BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE. INTEGRITY OF THE FIRE RATINGS AND SYSTEMS TO BE MAINTAINED. PENETRATIONS IN WALLS AND SYSTEMS TO BE SEALED WITH APPROVED FIRE STOPPING OR OTHER CODE APPROVED METHODS.
- WHERE ITEMS SUCH AS ELECTRICAL OR PLUMBING BOXES, CABINETS OR SIMILAR ITEMS ARE RECESSED IN FIRE RATED WALLS OR PARTITIONS, PROVIDE THE CODE APPROVED CONSTRUCTION REQUIRED AROUND AND/OR BEHIND ITEMS TO MAINTAIN FIRE RESISTIVE CONSTRUCTION OF THE WALL OR PARTITION ASSEMBLY.
- THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES FOR ALL OPENINGS THROUGH NEW OR EXISTING CONSTRUCTION FOR DUCTS, PIPES, CONDUITS, CABINETS AND EQUIPMENT. VERIFY AND COORDINATE SEES LOCATIONS AND INSTALLATION REQUIREMENTS. ALL PIPING, CONDUIT, DUCTS, ETC., SHALL BE FURRED IN ALL FINISHED ROOMS.
- USE FIRESTOP SLEEVES AND SEALANTS WHERE PIPES, DUCTS, CONDUITS, OR OTHER SYSTEMS PENETRATE FIRE RATED WALLS. PREPARE AND SUBMIT ALL PROPOSED SYSTEMS AND DETAILS AS DEFERRED SUBMITTAL OR AS REQUIRED TO JURISDICTION HAVING AUTHORITY.
- PACK MINERAL FIBER INSULATION AROUND PIPES, CONDUITS, DUCTS, OR OTHER EQUIPMENT THAT PENETRATE THROUGH NONRATED PARTITIONS.
- THE CONTRACTOR AND EACH SUBCONTRACTOR ARE RESPONSIBLE TO REVIEW THE MECHANICAL PLUMBING ELECTRICAL AND FIRE SPRINKLER DRAWINGS FOR CUTTING AND PATCHING WORK WITHIN THE PROJECT AREA.
- THE ROOM FINISH SCHEDULE SHALL NOT BE TAKEN AS A COMPLETE SPECIFICATION FOR ALL INTERIOR ROOM MATERIALS. HOWEVER, IT SHALL BE BINDING TO THE EXTENT OF THE MATERIALS IT DOES SPECIFY. THE CONTRACTOR SHALL CHECK AND COORDINATE THE SCHEDULES WITH SPECIFICATIONS AND DRAWINGS FOR OTHER MATERIALS NOT COVERED BY THE SCHEDULES.
- REFER TO DRAWINGS AND SPECIFICATIONS FOR ACCESS DOOR LOCATIONS AND CONSULT WITH MECH, ELEC AND OTHER CONTRACTORS FOR EXACT LOCATIONS FOR ACCESS REQUIRED BY THEIR WORK. PROVIDE DOORS FOR ALL CONCEALED VALVES, DAMPER CONTROLS AND FIRE DAMPER LINKAGES. OBTAIN THE ARCHITECT'S APPROVAL IN LOCATING ACCESS DOORS PRIOR TO ORDERING OR INSTALLATION.
- ALL MATERIALS PROVIDED FOR THE WORK ARE TO BE NEW, UNWARRANTED AND FREE FROM DEFECTS.
- WOOD TREATMENTS: ALL INTERIOR WOOD BLOCKING TO BE FIRE TREATED - EXCEPT WHEN IN CONTACT WITH CONCRETE OR MASONRY. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY AND ANY EXTERIOR WOOD SHALL HAVE A PRESERVATIVE TREATMENT FOR ROOF APPLICATIONS, SUCH AS HALERS AND CURBS. WOOD TO BE BOTH FIRE AND PRESERVATIVE TREATED.
- WHERE NEW WORK IS NOTED OR REQUIRED IN EXISTING AREAS, THE MATERIAL AND FINISH OF THE CONSTRUCTION SHALL MATCH THAT OF ADJACENT EXISTING MATERIAL OR FINISH UNLESS SCHEDULED OTHERWISE. THE FINISH SHALL EXTEND TO THE FIRST NATURAL BREAK OR, AS SCHEDULED.
- WHERE EXISTING WORK IS DAMAGED, CUT OR DECEASED DUE TO THE PERFORMANCE OF WORK, THE CONTRACTOR SHALL PATCH OR REPAIR SAME TO MATCH ADJACENT MATERIAL AND FINISH. REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VERTICAL BREAK LINES SUCH AS CORNERS, CEILING LINES, TOP OF BASE, ETC.
- CONTRACTOR IS RESPONSIBLE TO VERIFY JOBSITE ENVIRONMENT, SUBSTRATE CONDITIONS AND MATERIALS MANUFACTURING MEET MANUFACTURER REQUIREMENTS FOR THE SPECIFIED PRODUCTS AND FOR A WARRANTED INSTALLATION.
- REPETITIVE FEATURE NOT NOTED ON DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL. INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTIONS WHERE DETAILS ARE NOT SPECIFICALLY NOTED. THE CONTRACTOR IS TO PROVIDE SIMILAR WORK TO DETAILS NOTED. MANUFACTURER STANDARDS OR DETAILS REQUIRED FOR INSTALLATION ARE CONSIDERED REQUIRED WORK. THE USE OF "PER" IN DRAWINGS DOES NOT IMPLY A DIVISION OF THE WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL DRAWINGS AND PROVIDE THE WORK NOTED.
- THE CONTRACTOR IS RESPONSIBLE TO JOIN THE WORK OF SEPARATE TRADES AND PROVIDE ELEMENTS REQUIRED FOR PROPER INSTALLATION OF EQUIPMENT: CONDUIT RUNS, MECHANICAL AND OTHER TRADE WORK.

## SHEET INDEX - ADR

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| A-23.9       | PROPOSED SITE PLAN            |
| A-24.0       | PROPOSED SITE PLAN            |
| A-24.1       | PROPOSED SITE PLAN            |
| A-24.2       | PROPOSED SITE PLAN            |
| A-24.3       | PROPOSED SITE PLAN            |
| A-24.4       | PROPOSED SITE PLAN            |
| A-24.5       | PROPOSED SITE PLAN            |
| A-24.6       | PROPOSED SITE PLAN            |
| A-24.7       | PROPOSED SITE PLAN            |
| A-24.8       | PROPOSED SITE PLAN            |
| A-24.9       | PROPOSED SITE PLAN            |
| A-25.0       | PROPOSED SITE PLAN            |
| A-25.1       | PROPOSED SITE PLAN            |
| A-25.2       | PROPOSED SITE PLAN            |
| A-25.3       | PROPOSED SITE PLAN            |
| A-25.4       | PROPOSED SITE PLAN            |
| A-25.5       | PROPOSED SITE PLAN            |
| A-25.6       | PROPOSED SITE PLAN            |
| A-25.7       | PROPOSED SITE PLAN            |
| A-25.8       | PROPOSED SITE PLAN            |
| A-25.9       | PROPOSED SITE PLAN            |
| A-26.0       | PROPOSED SITE PLAN            |
| A-26.1       | PROPOSED SITE PLAN            |
| A-26.2       | PROPOSED SITE PLAN            |
| A-26.3       | PROPOSED SITE PLAN            |
| A-26.4       | PROPOSED SITE PLAN            |
| A-26.5       | PROPOSED SITE PLAN            |
| A-26.6       | PROPOSED SITE PLAN            |
| A-26.7       | PROPOSED SITE PLAN            |
| A-26.8       | PROPOSED SITE PLAN            |
| A-26.9       | PROPOSED SITE PLAN            |
| A-27.0       | PROPOSED SITE PLAN            |
| A-27.1       | PROPOSED SITE PLAN            |
| A-27.2       | PROPOSED SITE PLAN            |
| A-27.3       | PROPOSED SITE PLAN            |
| A-27.4       | PROPOSED SITE PLAN            |
| A-27.5       | PROPOSED SITE PLAN            |
| A-27.6       | PROPOSED SITE PLAN            |
| A-27.7       | PROPOSED SITE PLAN            |
| A-27.8       | PROPOSED SITE PLAN            |
| A-27.9       | PROPOSED SITE PLAN            |
| A-28.0       | PROPOSED SITE PLAN            |
| A-28.1       | PROPOSED SITE PLAN            |
| A-28.2       | PROPOSED SITE PLAN            |
| A-28.3       | PROPOSED SITE PLAN            |
| A-28.4       | PROPOSED SITE PLAN            |



LOT COVERAGE

ZONE: DNTN-MU WITH PERMITTER OVERLAY B-2 NORTHWEST VILLAGE NEIGHBORHOOD

SITE AREA:

SITE A (MIRA PHASE I APTS) 34,109 SF  
SITE B (MIRA PHASE 2 - CONDO TOWER) 17,053 SF  
TOTAL: 51,162 SF

MIRA PHASE I&II LOT COVERAGE

SITE A LOT COVERAGE 26,183 SF  
SITE B LOT COVERAGE 11,388 SF  
TOTAL PHASE 1&2 COVERAGE 37,571 SF  
TOTAL PHASE 1&2 LOT COVERAGE 73.44%  
MAX LOT COVERAGE PER CODE 75%

AREA AND USE SUMMARY

TOTAL PROPOSED PHASE I FAR = 130,748 SF  
MAX. (5.0) FAR AVAILABLE = 255,810 SF  
PHASE - I TOTAL FAR = 125,052 SF  
PHASE - II AVAILABLE = 130,758 SF

| LEVEL       | AREA (GFA) | # OF FLOORS | TOTAL AREA |
|-------------|------------|-------------|------------|
| Level 1     | 19261      | 1           | 19261      |
| Level 2     | 21202      | 1           | 21202      |
| Level 3     | 21202      | 1           | 21202      |
| Level 4     | 21202      | 1           | 21202      |
| Level 5     | 21202      | 1           | 21202      |
| Level 6     | 20984      | 1           | 20984      |
| Grand Total |            | 6           | 125052     |

| LEVEL               | AREA (GFA) | # OF FLOORS | TOTAL AREA |
|---------------------|------------|-------------|------------|
| Level 1             | 2,233      | 1           | 2,233      |
| Level 2             | 2,598      | 1           | 2,598      |
| Level 3             | 8,650      | 2           | 17,300     |
| Level 6 (6-10)      | 8,814      | 5           | 44,071     |
| Level 11 (11-12,15) | 8,813      | 3           | 26,439     |
| Level 16            | 8,648      | 1           | 8,648      |
| Level 17 (17-18)    | 8,747      | 2           | 17,493     |
| Level 19            | 8,681      | 1           | 8,681      |
| Level 20            | 3,284      | 1           | 3,284      |
| Grand total         |            | 17          | 130,748    |

AVERAGE GRADE

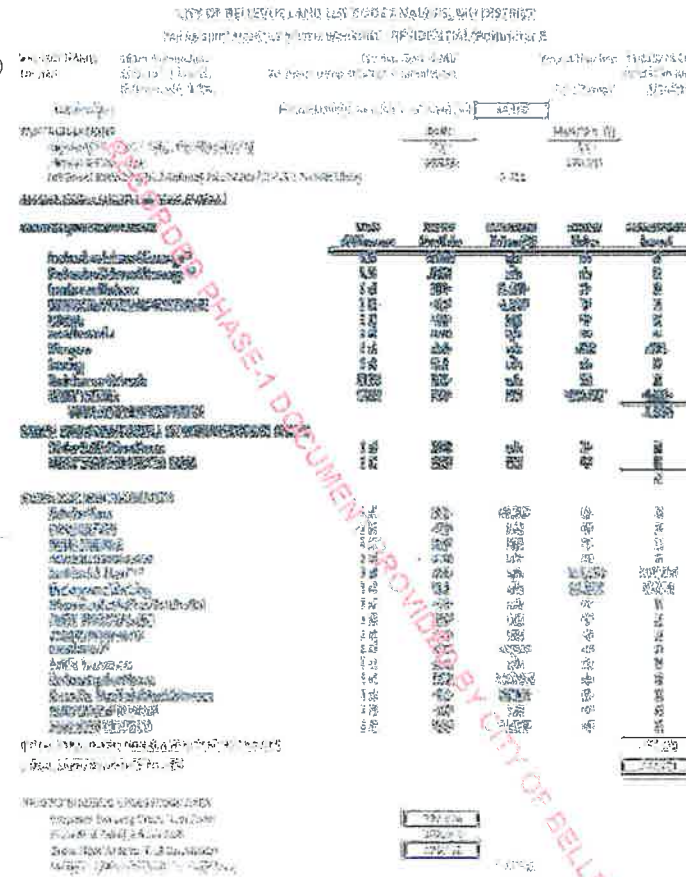
| Mira II AFG Calculation: |        |    |        |
|--------------------------|--------|----|--------|
| 1                        | 187.38 | 21 | 188.06 |
| 2                        | 186.94 | 22 | 188.10 |
| 3                        | 186.54 | 23 | 188.19 |
| 4                        | 186.29 | 24 | 188.06 |
| 5                        | 186.35 | 25 | 188.05 |
| 6                        | 186.41 | 26 | 188.01 |
| 7                        | 186.45 | 27 | 187.92 |
| 8                        | 186.52 | 28 | 187.78 |
| 9                        | 186.58 | 29 | 187.64 |
| 10                       | 186.64 | 30 | 187.35 |
| 11                       | 186.70 | 31 | 187.07 |
| 12                       | 186.83 | 32 | 186.89 |
| 13                       | 186.87 | 33 | 186.93 |
| 14                       | 186.91 | 34 | 187.07 |
| 15                       | 186.95 | 35 | 187.11 |
| 16                       | 186.99 | 36 | 187.46 |
| 17                       | 187.55 | 37 | 187.19 |
| 18                       | 187.50 | 38 | 187.77 |
| 19                       | 187.56 | 39 | 187.70 |
| 20                       | 186.03 | 40 | 187.60 |

TOTAL FAR SUMMARY

TOTAL MAX FAR = TOTAL LOT (51,162 SF) X MAX FAR (5.0) = 255,810 SF

MINUS (-)

PHASE 1 GFA FOR FAR = 125,052 SF  
PHASE 2 GFA FOR FAR PROPOSED = 130,748 SF  
REMAINING BALANCE: 255810 - 125052 - 130748 = 10,SE



NOTES:  
1. ALL DIMENSIONS ARE SHOWN IN IMPERIAL.  
2. DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING. ONLY FIGURED DIMENSIONS ARE TO BE USED.  
3. CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS PROTECTED BY COPYRIGHT.

PROJECT NAME: MIRA II

PROJECT ADDRESS: 10232 NE 10TH STREET, BELLEVUE, WA 98004

CLIENT: Shintex Global Investment Holdings, LLC

CONSULTANTS: ARCHITECT: MZA, STRUCTURAL ENGINEER: DCI ENGINEERS, CIVIL ENGINEER: DCI ENGINEERS

DRAWING STATUS: ADR / MDP REV#3 SUBMISSION

DRAWING TITLE: -AREA SUMMARY AND FAR ANALYSIS

DRAWN: [Name], CHECKED: [Name], SCALE @ ARCH: 1" = 20'-0", DATE: 04/26/19, PROJECT NO.: 16-023, DRAWING NO.: -A0.1, REVISION NO.: [Blank]

| Item | Description   | Points   |
|------|---|----------|
| 1    | Open Space 3216 X 9.3 (Neighborhood Village Calculation) = 29,908.8 | 29,908.8 |
| 2    | Transferable Points from Water Feature in Phase 1: 1,104            | 1,104    |
| 3    | Proposed Water Feature in Phase 2: \$40,000                         | 1,104    |
| 4    | Total Water Feature Points: 40K/40=1600                             | 1,600    |
| 5    | Total Amenity Points = 29,908.8 + 1,104 + 1,600 = 32,613            | 32,613   |
| 6    | Excess Bonus Amenity Points Provided: 32,613 - 32,273 = 340         | 340      |

## PHASE 2 BONUS AMENITY SUMMARY -UNDER CURRENT CODE

CONDITION 1: ALL BUILDING FLOOR AREA IS DEVELOPED BELOW THE BASE BUILDING HEIGHT. IN THIS CASE THE AMOUNT OF SQUARE FOOTAGE ABOVE THE BASE FAR IS EQUAL TO THE REQUIRED AMENITY POINTS.

CONDITION 2: A PORTION OF THE BUILDING FLOOR AREA IS DEVELOPED ABOVE THE BASE BUILDING HEIGHT. IN THIS CASE, THE GREATER OF THE FLOOR AREA BEING CONSTRUCTED ABOVE BASE FAR, OR THE FLOOR AREA BEING CONSTRUCTED ABOVE BASE HEIGHT DIVIDED BY TWO SHALL COUNT AS THE REQUIRED AMENITY INCENTIVE POINTS FOR EACH BUILDING.

FOR MULTIBUILDING DEVELOPMENT, THE INDIVIDUAL BUILDING AMENITY CALCULATIONS SHALL BE COMBINED FOR AN OVERALL DEVELOPMENT'S REQUIRED AMENITY INCENTIVE POINTS.

CONDITION 2  
A) TOTAL FLOOR AREA: 125,052 PHASE I + 130,748 PHASE II = 255,800 TOTAL  
TOTAL SITE AREA: BASE FAR = 51,162 X 4.5 = 230,229  
THE GREATER OF THE FLOOR AREA BEING CONSTRUCTED ABOVE BASE FAR: 255,800 - 230,229 = 25,571

B) SEE BUILDING HEIGHT DIAGRAM  
TOTAL SF ABOVE 105' = 64,546 - 2 = 32,273 (L11 THROUGH L20, REF A0.1)

THE GREATER OF THE TWO IS 32,261 POINTS, THIS IS REQUIREMENT FOR PROJECT.

75% OR MORE OF THE POINTS NEED TO COME FROM SPECIFIC AMENITIES LISTED IN THE LUC, ONE OF WHICH IS OPEN SPACE.

OPEN SPACE 3216 X 9.3 (NEIGHBORHOOD VILLAGE CALCULATION) = 29,908.8 POINTS  
TRANSFERABLE POINTS FROM WATER FEATURE IN PHASE-1: 1,104 POINTS  
PROPOSED WATER FEATURE IN PHASE-2: \$40,000  
TOTAL WATER FEATURE POINTS: 40K/40=1600 POINTS

TOTAL AMENITIES POINTS = 29,908.8 + 1,104 + 1,600 = 32,613 POINTS > REQUIRED  
EXCESS BONUS AMENITY POINTS PROVIDED: 32,613 - 32,273 = 340 POINTS

| FAR PH 1 | FAR PH 2 | FAR TOTAL | DATUM | HEIGHT | MAX 220'     |
|----------|----------|-----------|-------|--------|--------------|
| 20       | 3,284    | 3,284     | 400.5 | 213    |              |
| 19       | 8,681    | 8,681     | 391   | 203.5  |              |
| 18       | 8,747    | 8,747     | 376.5 | 189    |              |
| 17       | 8,747    | 8,747     | 362.5 | 175    |              |
| 16       | 8,648    | 8,648     | 350   | 162.5  |              |
| 15       | 8,813    | 8,813     | 337.5 | 150    |              |
| 14       | 8,813    | 8,813     | 325   | 137.5  |              |
| 13       | 8,813    | 8,813     | 314.5 | 127    |              |
| 12       | 8,813    | 8,813     | 304   | 116.5  |              |
| 11       | 8,813    | 8,813     | 293.5 | 106    | TRIGGER 105' |
| 10       | 8,814    | 8,814     | 283   | 95.5   |              |
| 9        | 8,814    | 8,814     | 272.5 | 85     |              |
| 8        | 20,984   | 8,814     | 262   | 74.5   |              |
| 7        | 8,814    | 29,798    | 251.5 | 64     |              |
| 6        | 21,202   | 30,016    | 241   | 53.5   |              |
| 5        | 21,202   | 29,852    | 230.5 | 43     |              |
| 4        | 21,202   | 29,852    | 220   | 32.5   |              |
| 3        | 21,202   | 29,852    | 206   | 18.5   |              |
| 2        | 21,202   | 23,800    |       |        |              |
| 1        | 19,261   | 2,233     |       |        |              |
|          | 125,052  | 130,748   |       |        |              |

PARKING PARKING- UNDERGROUND BUILDING

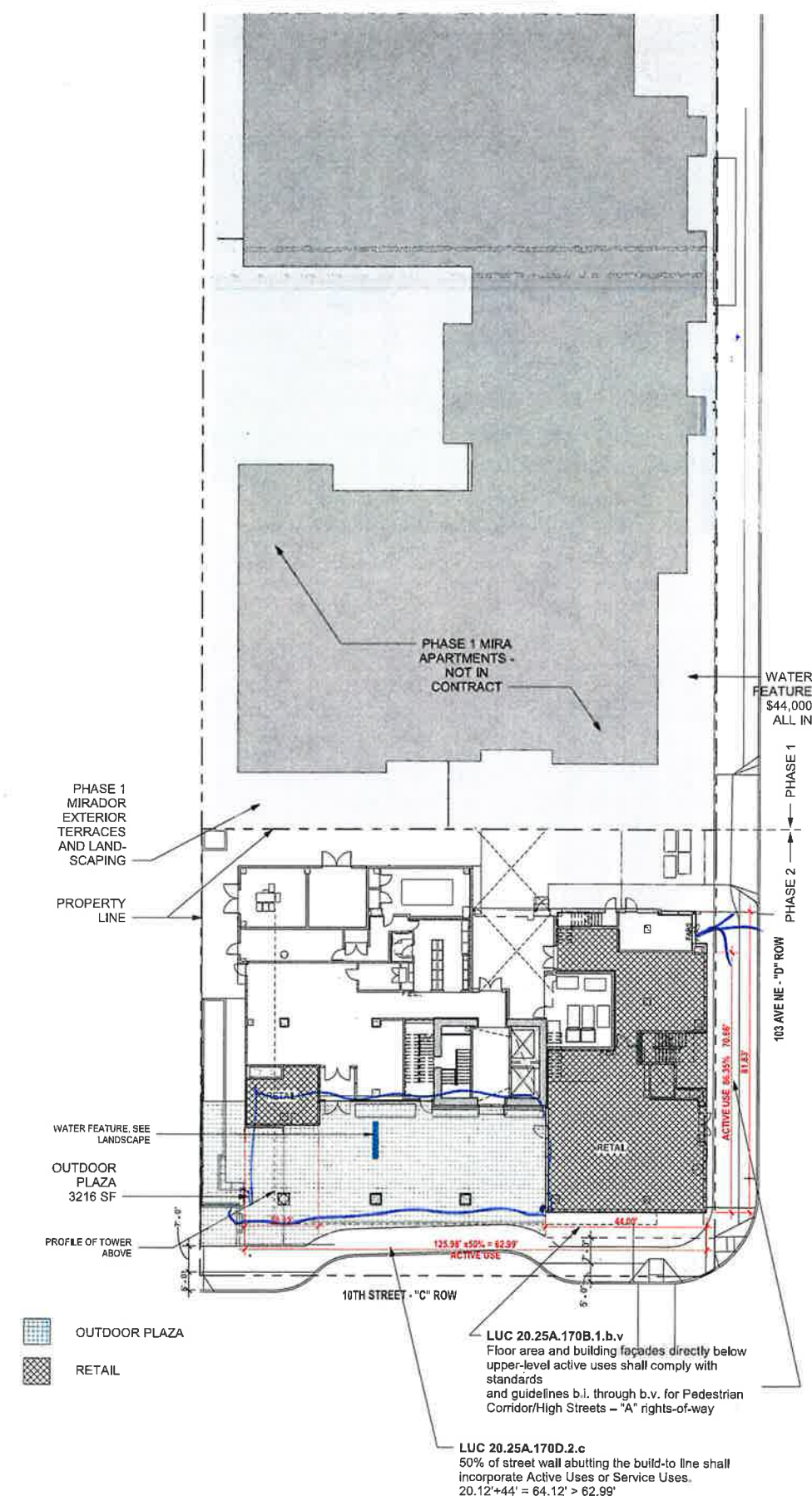
| Item | Description   | Points   |
|------|---|----------|
| 1    | Open Space 3216 X 9.3 (Neighborhood Village Calculation) = 29,908.8 | 29,908.8 |
| 2    | Transferable Points from Water Feature in Phase 1: 1,104            | 1,104    |
| 3    | Proposed Water Feature in Phase 2: \$40,000                         | 1,104    |
| 4    | Total Water Feature Points: 40K/40=1600                             | 1,600    |
| 5    | Total Amenity Points = 29,908.8 + 1,104 + 1,600 = 32,613            | 32,613   |
| 6    | Excess Bonus Amenity Points Provided: 32,613 - 32,273 = 340         | 340      |

Gross Floor Area - For the Purpose of Calculating Floor Area for F.A.R. Limits (Inside Face of Interior Sheathing - Minus Stairs, Parking, Mechanical Areas and Vertical Circulation)

|             |            |
|-------------|------------|
| LEVEL 1     | 19,261 SF  |
| LEVEL 2     | 21,202 SF  |
| LEVEL 3     | 21,202 SF  |
| LEVEL 4     | 21,202 SF  |
| LEVEL 5     | 21,202 SF  |
| LEVEL 6     | 20,984 SF  |
| Grand Total | 125,052 SF |

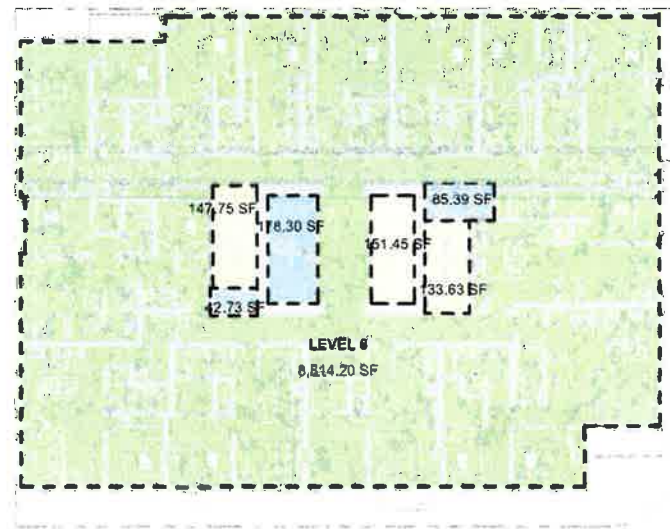
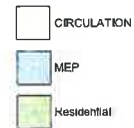
FAR CALCULATION:  
GROSS FLOOR AREA X SITE AREA  
125,052 SF X 1.1166 SF = 139.61

## PHASE 2 BONUS AMENITY DIAGRAM

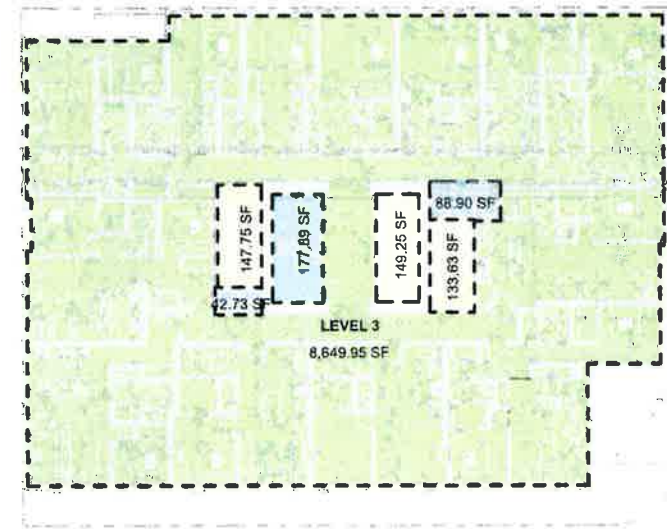


|   |  |
|---|--|
| PROJECT NAME  |  |
| MIRA II   |  |
| PROJECT ADDRESS   |  |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |  |
| CLIENT  |  |
| Shintex Global Investment Holdings, LLC   | 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005                     |
| REVISIONS   |  |
| NO.   | Description  |
| 1   | MDP Revision Submission  |
| 2   | MDP Revision Submission  |
| 3   | MDP Revision Submission  |
| 4   | MDP Revision Submission  |
| 5   | MDP Revision Submission  |
| 6   | MDP Revision Submission  |
| 7   | MDP Revision Submission  |
| 8   | MDP Revision Submission  |
| 9   | MDP Revision Submission  |
| 10  | MDP Revision Submission  |
| CONSULTANTS   |  |
| ARCHITECT   |  |
| MZA   | 600 108th Ave. N.E. Suite 108<br>Bellevue, WA 98004<br>T: 425-559-7888 |
| STRUCTURAL ENGINEER   |  |
| DCI ENGINEERS   | 816 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101                    |
| CIVIL ENGINEER  |  |
| DCI ENGINEERS   | 816 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101                    |
| DRAWING STATUS  |  |
| ADR / MDP REV#3 SUBMISSION  |  |
| Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. |  |
| ALL DIMENSIONS ARE SHOWN IN IMPERIAL.   |  |
| MZA   |  |
| STAMP   | NORTH ARROW  |
| DRAWING TITLE   |  |
| -FAR ANALYSIS   |  |
| DRAWN   | CHECKED  |
| SCALE @ ARCH E  | DATE   |
| As Indicated  | 05/08/19   |
| PROJECT NO.   | 16-023   |
| DRAWING NO.   | REVISION NO.   |
| -A0.2   |  |

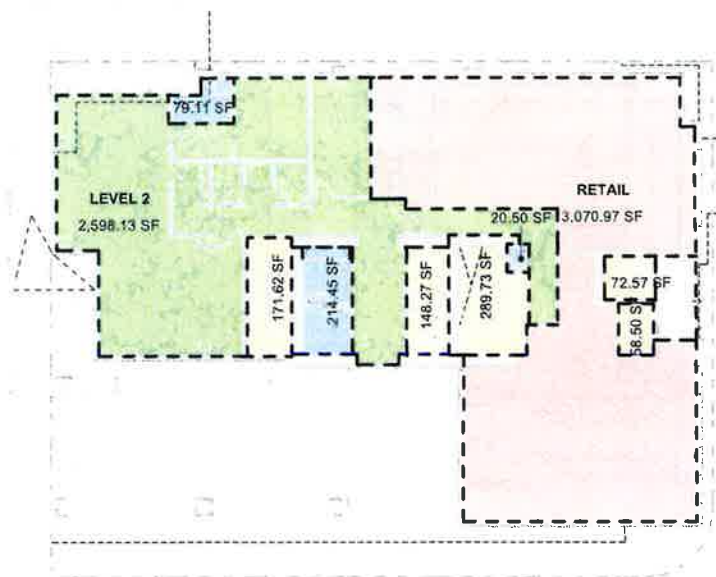
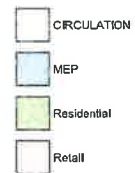
F.A.R. AREA LEGEND

4 Level 6 (6-10)  
1/16" = 1'-0"

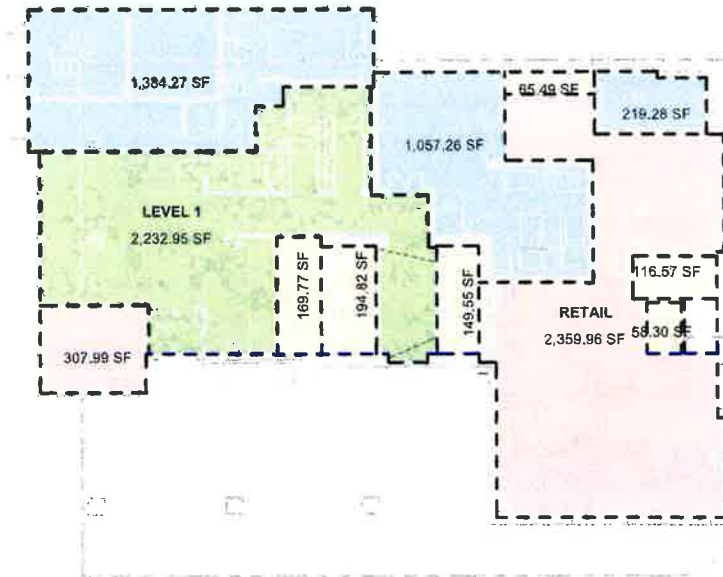
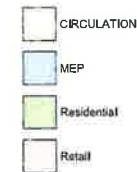
F.A.R. AREA LEGEND

3 Level 3,5  
1/16" = 1'-0"

F.A.R. AREA LEGEND

2 Level 2  
1/16" = 1'-0"

F.A.R. AREA LEGEND

1 Level 1  
1/16" = 1'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

6 ADR Rev#3 Submission 04/28/19

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E., Suite 108  
Bellevue, WA 98004  
T: 425-558-7388

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

ADR / MDP REV#3 SUBMISSION

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STAMP

NORTH ARROW



DRAWING TITLE

F.A.R. AREA PLANS

DRAWN Author CHECKED Checker

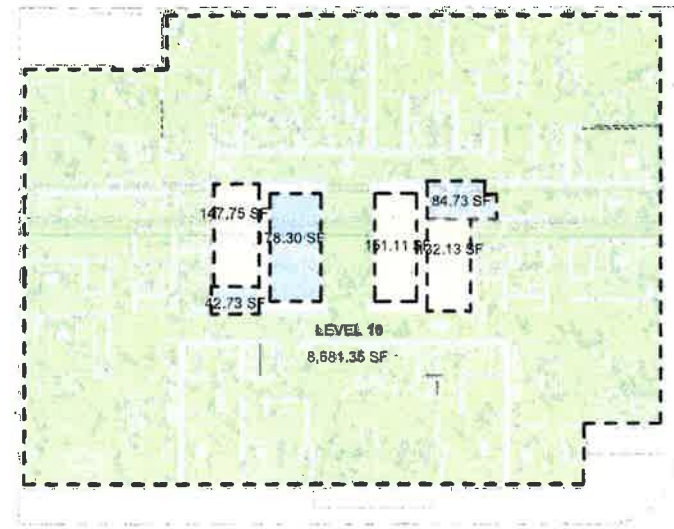
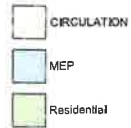
SCALE @ ARCH E 1/16" = 1'-0" DATE 05/08/19

PROJECT NO. 16-023

DRAWING NO. REVISION NO.

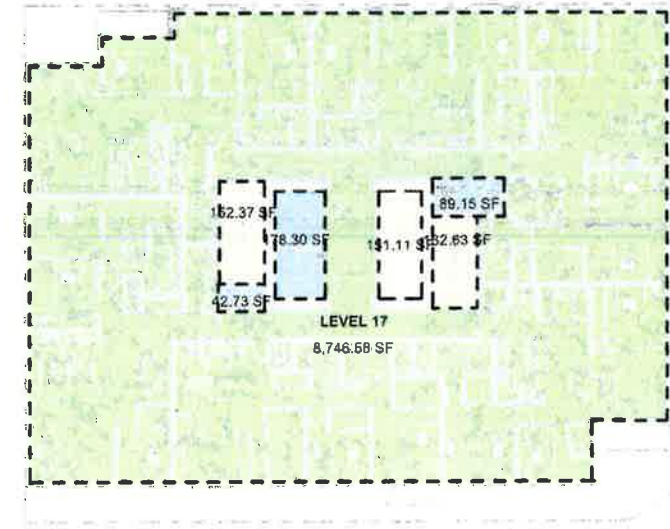
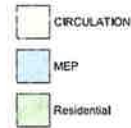
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F.A.R. AREA LEGEND



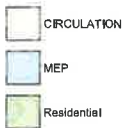
4 Level 19  
1/16" = 1'-0"

F.A.R. AREA LEGEND



3 Level 17 (17-18)  
1/16" = 1'-0"

F.A.R. AREA LEGEND



2 Level 16  
1/16" = 1'-0"

F.A.R. AREA LEGEND



1 Level 11 (11-12,15)  
1/16" = 1'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment Holdings, LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA 600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-558-7888

STRUCTURAL ENGINEER

SCIENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

SCIENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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STAMP

NORTH ARROW



DRAWING TITLE

F.A.R. AREA PLANS

DRAWN Author CHECKED Checker

SCALE @ ARCH E 1/16" = 1'-0" DATE 05/08/19

PROJECT NO. 16-023

DRAWING NO. REVISION NO.

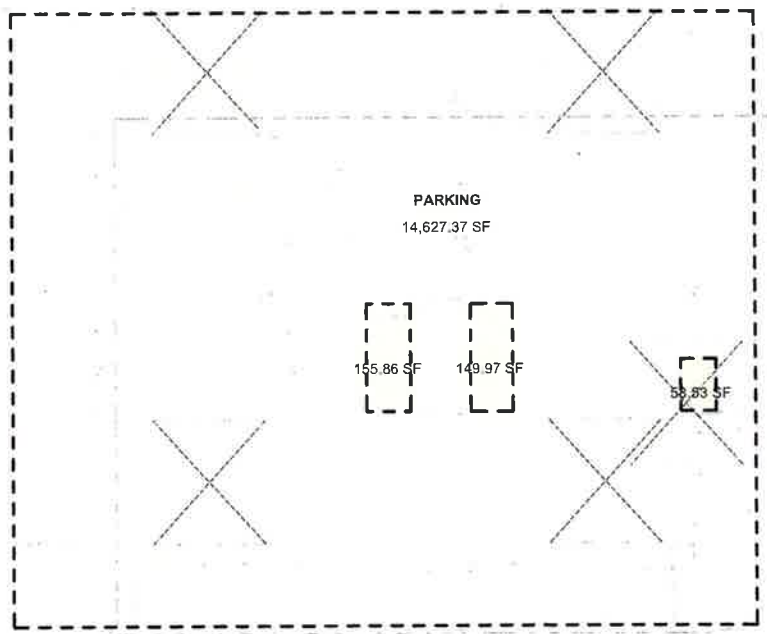
-A0.2-2

| 16-023 Phase 2 Gross Floor Area |             |            |                  |
|---------------------------------|-------------|------------|------------------|
| Use                             | # of Floors | Total Area | Floor Area Ratio |
| LEVEL P3                        |             |            |                  |
| PARKING                         | 1           | 14,627.37  | No               |
| LEVEL P2                        |             |            |                  |
| PARKING                         | 1           | 14,627.37  | No               |
| LEVEL P1                        |             |            |                  |
| PARKING                         | 1           | 14,503.25  | No               |
| Level 1                         |             |            |                  |
| MEP                             | 1           | 2,660.81   | No               |
| Residential                     | 1           | 2,232.95   | Yes              |
| Retail                          | 1           | 2,667.95   | No               |
| Level 2                         |             |            |                  |
| MEP                             | 1           | 314.06     | No               |
| Residential                     | 1           | 2,598.13   | Yes              |
| Retail                          | 1           | 3,070.97   | No               |
| Level 3                         |             |            |                  |
| MEP                             | 1           | 309.52     | No               |
| Residential                     | 1           | 8,649.95   | Yes              |
| Level 4                         |             |            |                  |
| MEP                             | 1           | 309.52     | No               |
| Residential                     | 1           | 8,649.95   | Yes              |
| Level 5 (5-10)                  |             |            |                  |
| MEP                             | 5           | 1,532.10   | No               |
| Residential                     | 5           | 44,071.00  | Yes              |
| Level 11 (11-12, 15)            |             |            |                  |
| MEP                             | 3           | 928.09     | No               |
| Residential                     | 3           | 25,438.52  | Yes              |
| Level 16                        |             |            |                  |
| MEP                             | 1           | 310.44     | No               |
| Residential                     | 1           | 8,648.38   | Yes              |
| Level 17 (17-18)                |             |            |                  |
| MEP                             | 2           | 620.35     | No               |
| Residential                     | 2           | 17,493.16  | Yes              |
| Level 19                        |             |            |                  |
| MEP                             | 1           | 305.76     | No               |
| Residential                     | 1           | 8,581.35   | Yes              |
| Level 20                        |             |            |                  |
| MEP                             | 1           | 1,363.60   | No               |
| Residential                     | 1           | 1,284.44   | Yes              |
| Grand total                     |             | 188,957.52 | GFA              |

| 16-023 Phase 2 Excluded F.A.R. Area Schedule |             |            |                  |
|--|-------------|------------|------------------|
| Use  | # of Floors | Total Area | Floor Area Ratio |
| LEVEL P3                                     |             |            |                  |
| PARKING                                      | 1           | 14,627.37  | No               |
| LEVEL P2                                     |             |            |                  |
| PARKING                                      | 1           | 14,627.37  | No               |
| LEVEL P1                                     |             |            |                  |
| PARKING                                      | 1           | 14,503.25  | No               |
| Level 1                                      |             |            |                  |
| MEP  | 1           | 2,660.81   | No               |
| Level 2                                      |             |            |                  |
| MEP  | 1           | 314.06     | No               |
| Level 3                                      |             |            |                  |
| MEP  | 1           | 309.52     | No               |
| Level 4                                      |             |            |                  |
| MEP  | 1           | 309.52     | No               |
| Level 5 (5-10)                               |             |            |                  |
| MEP  | 5           | 1,532.10   | No               |
| Level 11 (11-12, 15)                         |             |            |                  |
| MEP  | 1           | 928.09     | No               |
| Level 16                                     |             |            |                  |
| MEP  | 1           | 310.44     | No               |
| Level 17 (17-18)                             |             |            |                  |
| MEP  | 2           | 620.35     | No               |
| Level 19                                     |             |            |                  |
| MEP  | 1           | 305.76     | No               |
| Level 20                                     |             |            |                  |
| MEP  | 1           | 1,363.60   | No               |
| Grand total                                  |             | 52,470.75  | Excluded         |

| 16-023 Phase 2 Included F.A.R. Area Schedule |          |             |            |                  |
|--|----------|-------------|------------|------------------|
| Use  | Area     | # of Floors | Total Area | Floor Area Ratio |
| Level 1                                      |          |             |            |                  |
| Residential                                  | 2,232.95 | 1           | 2,232.95   | Yes              |
| Level 2                                      |          |             |            |                  |
| Residential                                  | 2,598.13 | 1           | 2,598.13   | Yes              |
| Level 3                                      |          |             |            |                  |
| Residential                                  | 8,649.95 | 1           | 8,649.95   | Yes              |
| Level 4                                      |          |             |            |                  |
| Residential                                  | 8,649.95 | 1           | 8,649.95   | Yes              |
| Level 5 (5-10)                               |          |             |            |                  |
| Residential                                  | 8,814.20 | 5           | 44,071.00  | Yes              |
| Level 11 (11-12, 15)                         |          |             |            |                  |
| Residential                                  | 8,812.84 | 3           | 26,438.52  | Yes              |
| Level 16                                     |          |             |            |                  |
| Residential                                  | 8,648.38 | 1           | 8,648.38   | Yes              |
| Level 17 (17-18)                             |          |             |            |                  |
| Residential                                  | 8,748.58 | 2           | 17,493.16  | Yes              |
| Level 19                                     |          |             |            |                  |
| Residential                                  | 8,581.35 | 1           | 8,581.35   | Yes              |
| Level 20                                     |          |             |            |                  |
| Residential                                  | 3,284.44 | 1           | 3,284.44   | Yes              |
| Grand total                                  |          | 17          | 130,747.84 | GFA for FAR      |

| 16-023 Phase 2 Exempt F.A.R. Area Schedule |             |            |                  |
|--|-------------|------------|------------------|
| Use  | # of Floors | Total Area | Floor Area Ratio |
| Level 1                                    |             |            |                  |
| Retail                                     | 1           | 2,667.95   | No               |
| Level 2                                    |             |            |                  |
| Retail                                     | 1           | 3,070.97   | No               |
| Grand total                                |             | 5,738.93   | Exempt           |

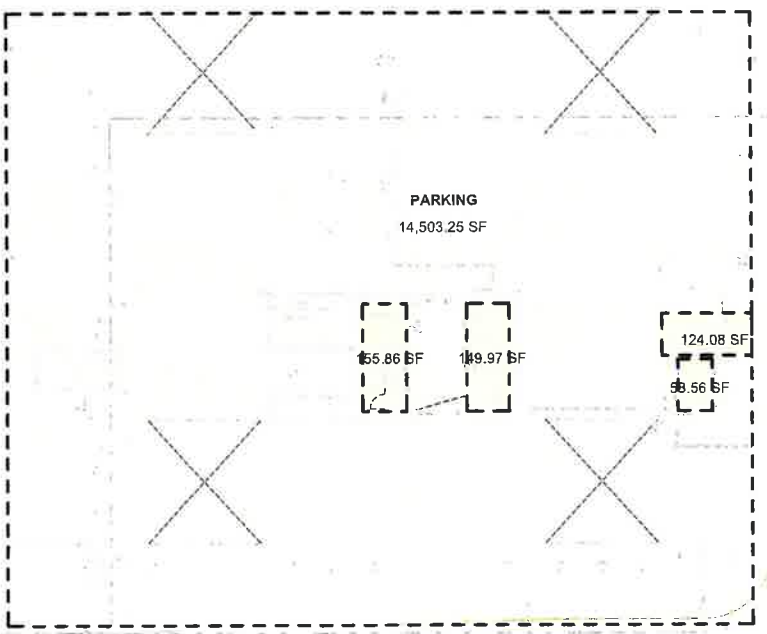


3 LEVEL P2-P3  
1/16" = 1'-0"

NOTE:  
GROSS FLOOR AREA CALCULATION DOES NOT  
INCLUDE SHAFTS, AND STAIR WELLS.

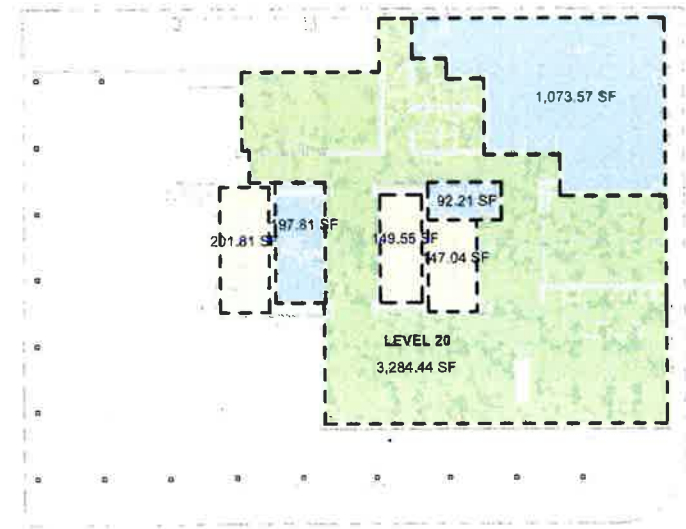
$$\begin{aligned} \text{FAR} &= \text{GFA} - \text{Excluded} - \text{Exempt(retail)} \\ &= 188,957.52 - 52,470.75 - 5,738.93 \\ &= 130,747.84 \end{aligned}$$

F.A.R. AREA LEGEND  
CIRCULATION  
PARKING



2 LEVEL P1  
1/16" = 1'-0"

F.A.R. AREA LEGEND  
CIRCULATION  
MEP  
Residential



1 Level 20  
1/16" = 1'-0"

PROJECT NAME  
**MIRA II**

PROJECT ADDRESS  
10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT  
Shintex Global Investment Holdings, LLC  
325 118th Ave, SE, Suite 101  
Bellevue, WA 98005

REVISIONS  
6 ADR Rev#3 Submission 04/26/19  
10 Description Date

CONSULTANTS  
ARCHITECT  
**MZA**  
600 108th Ave, N.E., Suite 108  
Bellevue, WA 98004  
T: 425-559-7888  
STRUCTURAL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101  
CIVIL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS  
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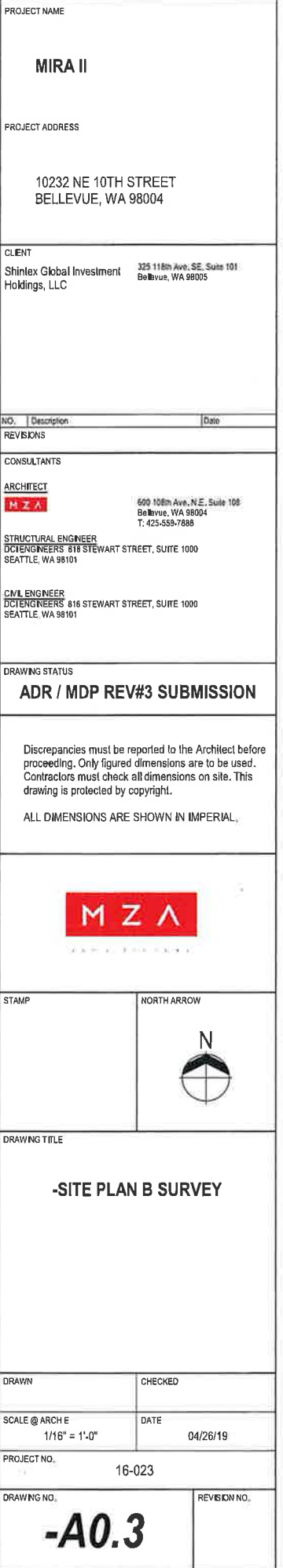
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ARCHITECTS

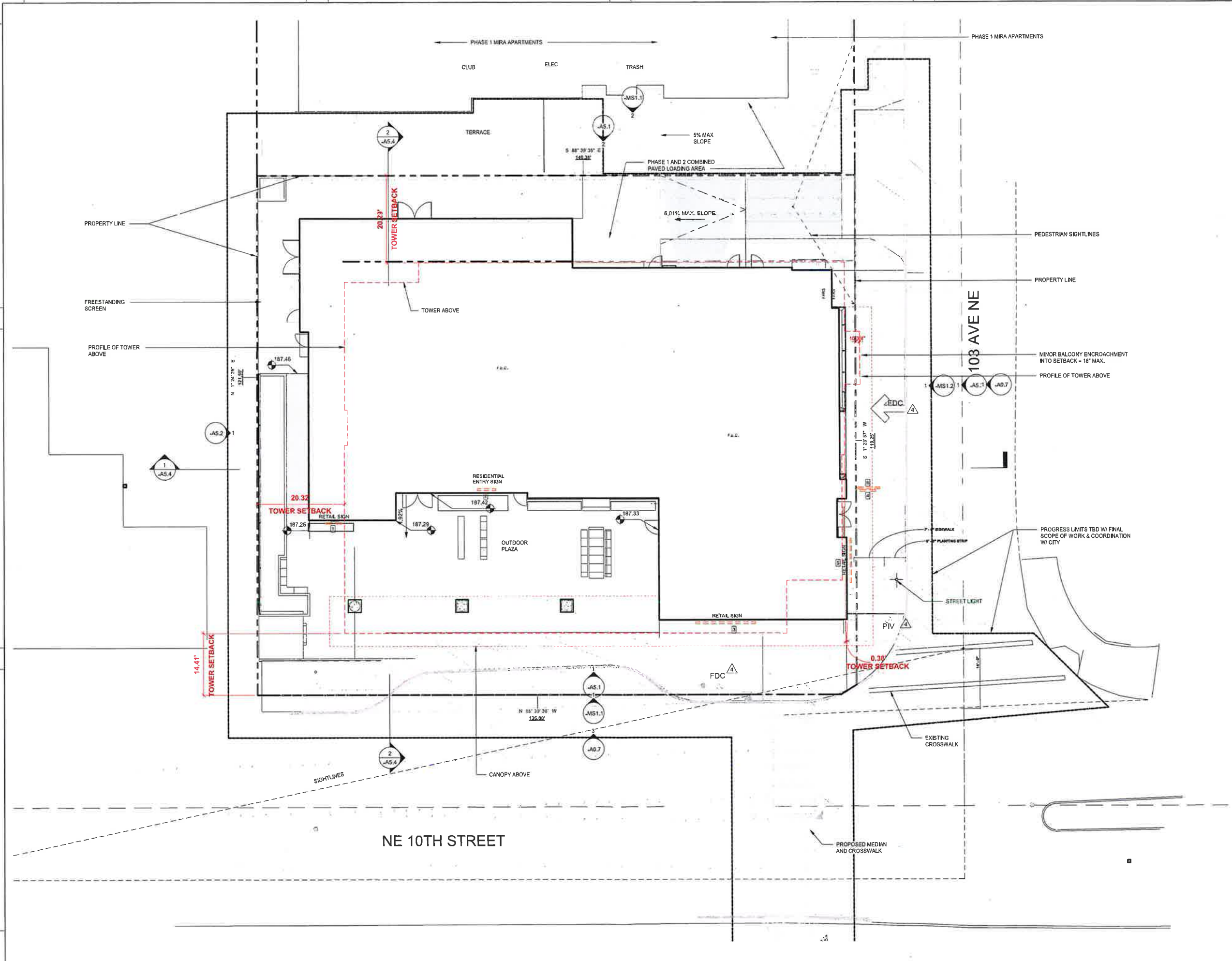
STAMP  
NORTH ARROW  
N

DRAWING TITLE  
**F.A.R. AREA PLANS**

DRAWN Author  
SCALE @ ARCH E  
1/16" = 1'-0"  
PROJECT NO.  
16-023  
DRAWING NO.  
**-A0.2-3**

CHECKED Checker  
DATE  
05/08/19  
REVISION NO.





PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC

325 118th Ave. SE, Suite 101  
Bellevue, WA 98003

4

1ADR Rev#2 Submission

03/11/19

1

MDP Revision Submission

08/17/18

NO.

Description

Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS

818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS

818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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MULTI-ZONAL ARCHITECTURE

STAMP

NORTH ARROW

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DRAWING TITLE

-PROPOSED SITE PLAN

DRAWN

CHECKED

SCALE @ ARCH E

1" = 10'-0"

DATE

04/26/19

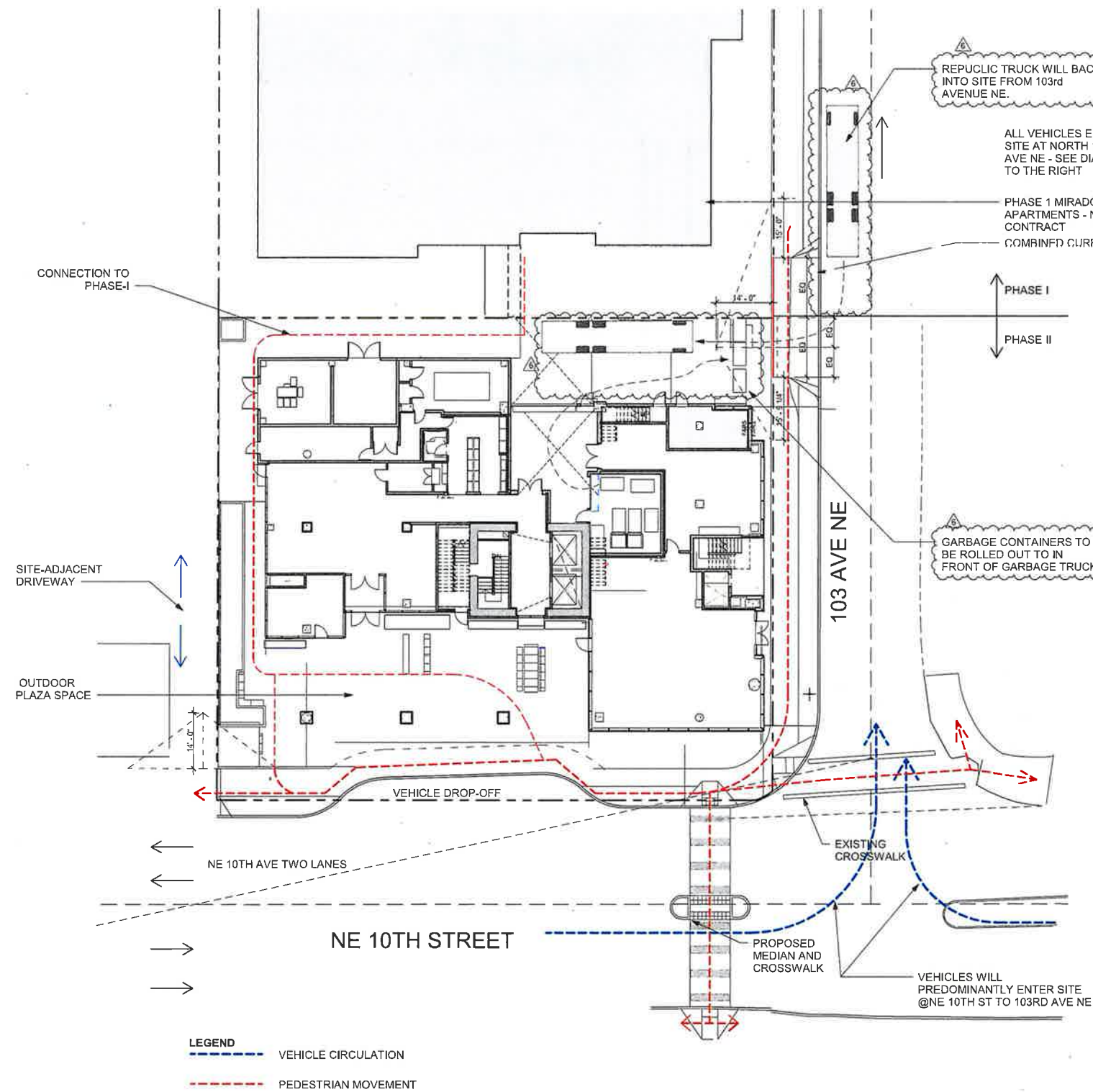
PROJECT NO.

16-023

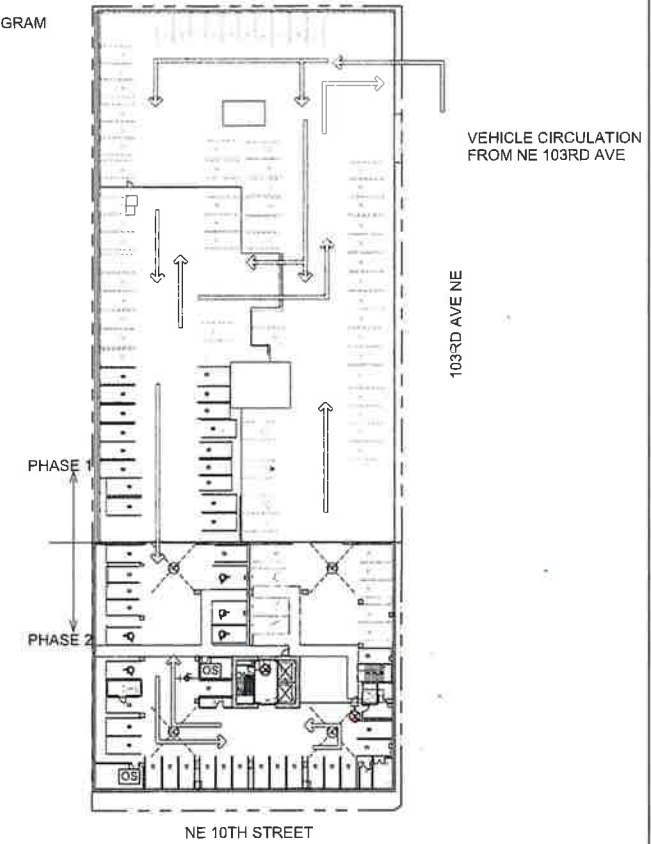
DRAWING NO.

-A0.4

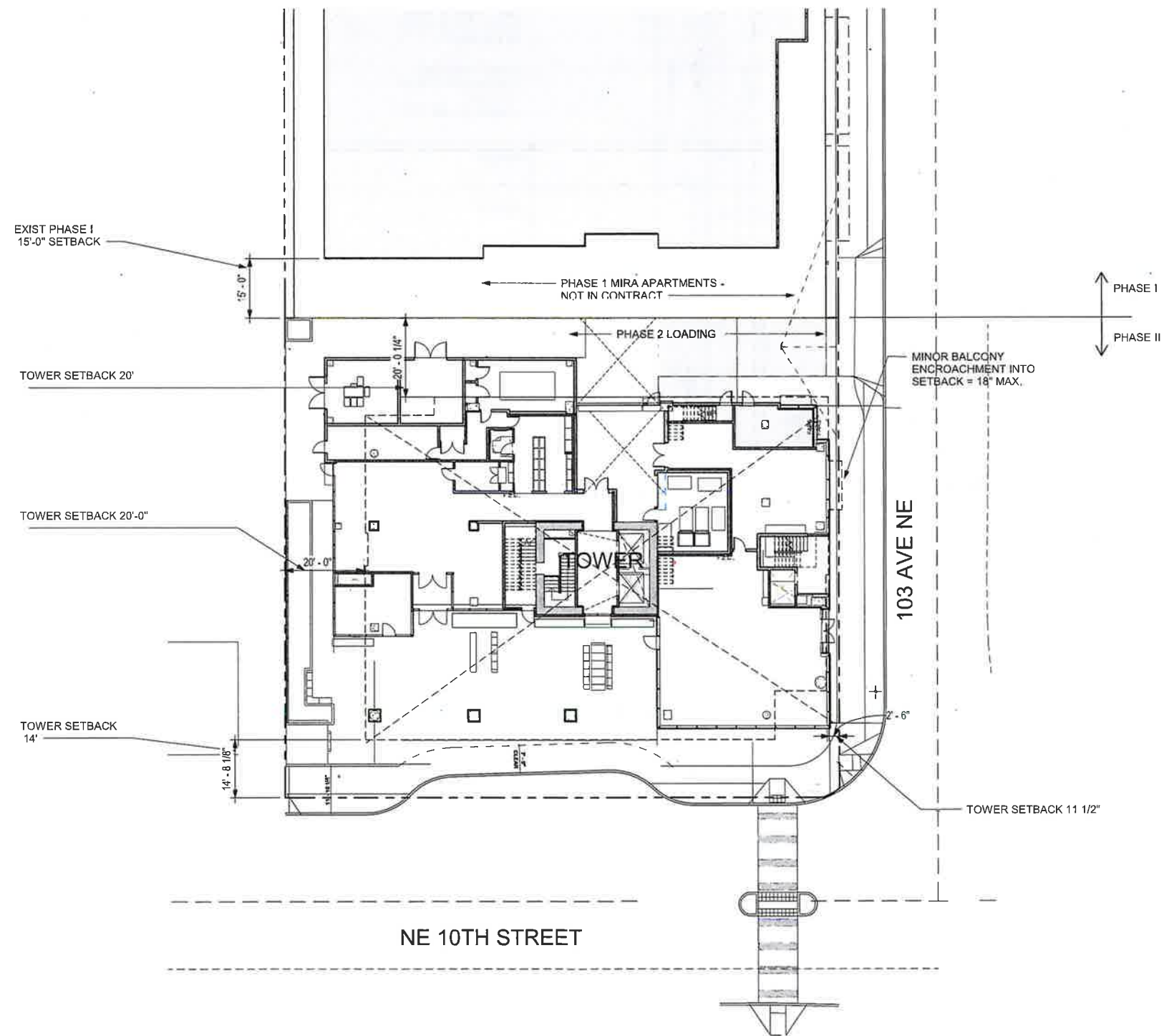
REVISION NO.



P1 PARKING DIAGRAM



|   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
|---|-------------------------|----------|----------------------|----------|---|----------------------|----------|---|-------------------------|----------|-----|-------------|------|
| PROJECT NAME  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| <b>MIRA II</b>  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| PROJECT ADDRESS   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| CLIENT  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| Shintex Global Investment Holdings, LLC   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| REVISIONS   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| <table><tr><td>6</td><td>ADR Rev#3 Submission</td><td>04/26/19</td></tr><tr><td>3</td><td>ADR Rev#1 Submission</td><td>11/21/18</td></tr><tr><td>1</td><td>MDP Revision Submission</td><td>08/17/18</td></tr><tr><td>NO.</td><td>Description</td><td>Date</td></tr></table> |                         | 6        | ADR Rev#3 Submission | 04/26/19 | 3 | ADR Rev#1 Submission | 11/21/18 | 1 | MDP Revision Submission | 08/17/18 | NO. | Description | Date |
| 6   | ADR Rev#3 Submission    | 04/26/19 |                      |          |   |                      |          |   |                         |          |     |             |      |
| 3   | ADR Rev#1 Submission    | 11/21/18 |                      |          |   |                      |          |   |                         |          |     |             |      |
| 1   | MDP Revision Submission | 08/17/18 |                      |          |   |                      |          |   |                         |          |     |             |      |
| NO.   | Description             | Date     |                      |          |   |                      |          |   |                         |          |     |             |      |
| CONSULTANTS   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| ARCHITECT   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| <b>MZA</b>  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| 600 106th Ave. N.E., Suite 108<br>Bellevue, WA 98004<br>T: 425-558-7888   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| STRUCTURAL ENGINEER   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| CIVIL ENGINEER  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| DRAWING STATUS  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| <b>ADR / MDP REV#3 SUBMISSION</b>   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
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|   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| STAMP   | NORTH ARROW             |          |                      |          |   |                      |          |   |                         |          |     |             |      |
|   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| DRAWING TITLE   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| <b>-SITE PLAN B CIRCULATION</b>   |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| DRAWN   | CHECKED                 |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| Author  | Checker                 |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| SCALE @ ARCH E  | DATE                    |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| As indicated  | 04/26/19                |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| PROJECT NO.   | 16-023                  |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| DRAWING NO.   | REVISION NO.            |          |                      |          |   |                      |          |   |                         |          |     |             |      |
| <b>-A0.4-1</b>  |                         |          |                      |          |   |                      |          |   |                         |          |     |             |      |



PROJECT NAME

**MIRA II**

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment  
Holdings, LLC325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

| NO. | Description             | Date     |
|-----|-------------------------|----------|
| 1   | MDP Revision Submission | 08/13/19 |

REVISIONS

CONSULTANTS

ARCHITECT

**MZA**600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7888

STRUCTURAL ENGINEER

DCIENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCIENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

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NORTH ARROW



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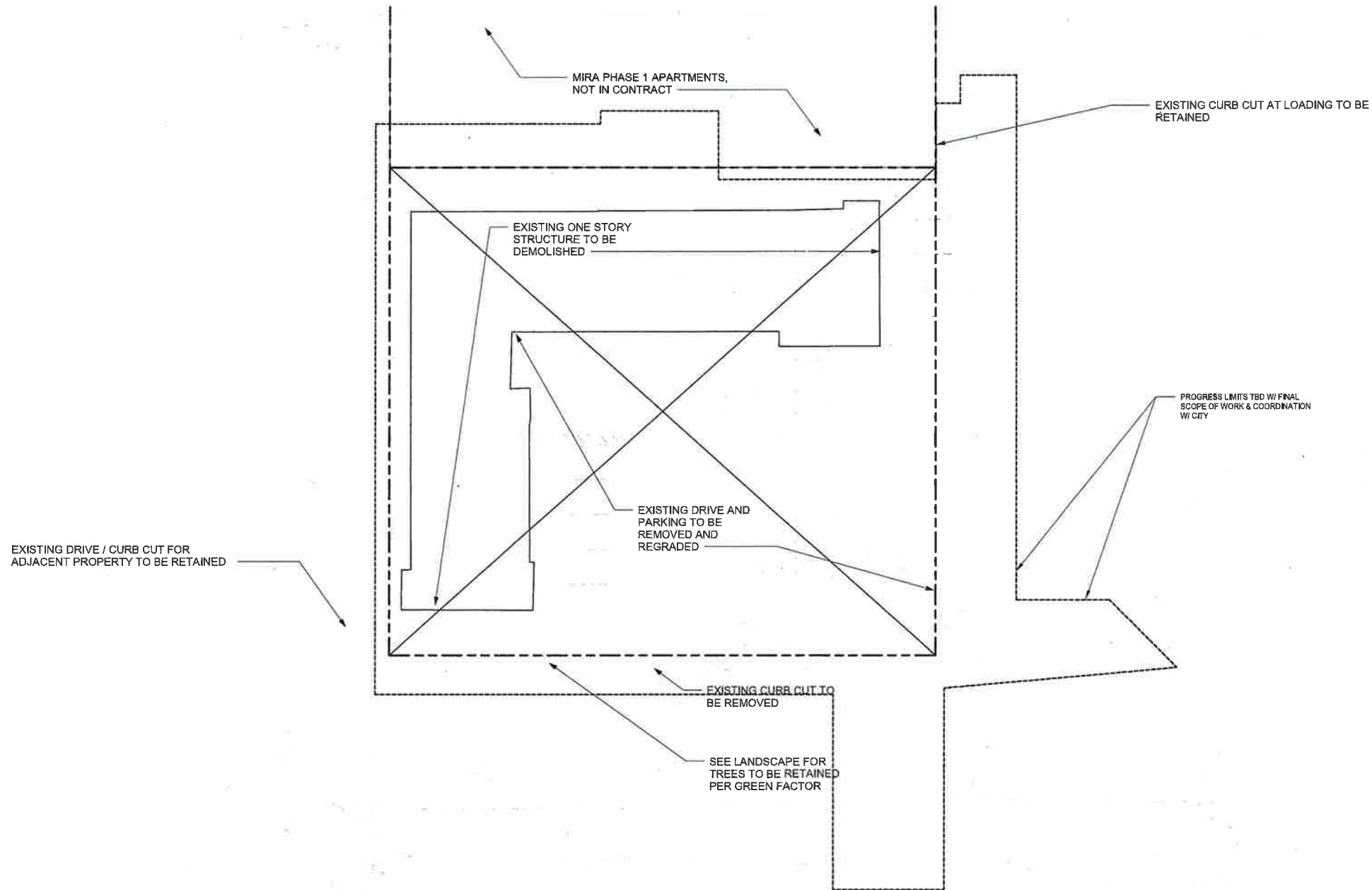
**-SITE PLAN B SETBACKS**

| DRAWN  | CHECKED |
|--------|---------|
| Author | Checker |
|        |         |

| SCALE @ ARCH E | DATE     |
|----------------|----------|
| 1/16" = 1'-0"  | 04/26/19 |

| PROJECT NO. |  |
|-------------|--|
| 16-023      |  |

| DRAWING NO.    | REVISION NO. |
|----------------|--------------|
| <b>-A0.4-2</b> |              |



1 DEMOLITION PLAN  
1/16" = 1'-0"

|   |   |
|---|---|
| PROJECT NAME  |   |
| MIRA II   |   |
| PROJECT ADDRESS   |   |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |   |
| CLIENT  |   |
| Shintex Global Investment Holdings, LLC   | 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005                    |
| 1 MDP Revision Submission 08/17/18  |   |
| NO.   | Date  |
| REVISIONS   |   |
| CONSULTANTS   |   |
| ARCHITECT   | 600 108th Ave. N.E. Suite 108<br>Bellevue, WA 98004<br>7:425-555-7538 |
| STRUCTURAL ENGINEER   | DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101     |
| CIVIL ENGINEER  | DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101     |
| DRAWING STATUS  |   |
| ADR / MDP REV#3 SUBMISSION  |   |
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| STAMP   | NORTH ARROW   |
|   | N   |
| DRAWING TITLE   |   |
| -DEMOLITION PLAN  |   |
| DRAWN   | CHECKED   |
| SCALE @ ARCH E<br>1/16" = 1'-0"   | DATE<br>04/26/19  |
| PROJECT NO.<br>16-023   |   |
| DRAWING NO.<br>-A0.5  | REVISION NO.  |

| USE      | REQUIRED STALLS | Total# or NSF    | Units Total stalls required | Total# or NSF | ADA stalls required 5% + type A | ADA stalls provided 5% + type A | ADA Van stalls provided | ADA Van stalls required | Boys provided | Boys required |
|----------|-----------------|------------------|-----------------------------|---------------|---------------------------------|---------------------------------|-------------------------|-------------------------|---------------|---------------|
| Phase-B  | Residential     | 1,200            | 150                         | 150           | 11.5                            | 11.5                            |                         |                         |               |               |
|          | Restaurant      | 10,200 / 1000NSF | 2000                        | 2040          | 25                              | 25                              |                         |                         |               |               |
|          | Retail          | 2,400 / 1000NSF  | 480                         | 480           | 6                               | 6                               |                         |                         |               |               |
|          | Visitor         | 1/20 units       | 7.5                         | 7.5           | 0.9                             | 0.9                             |                         |                         |               |               |
| Phase-I  | Units           |                  | 162                         | 162           | 12.15                           | 12.15                           |                         |                         |               |               |
|          | Visitor         |                  | 8.1                         | 8.1           | 0.9                             | 0.9                             |                         |                         |               |               |
| Combined | Total (P-B)     |                  | 354                         | 354           | 23.78                           | 23.78                           | 4                       | 4                       | 11.2          | 49            |

1156.2 1. In Group R-2, R-3 and R-4 occupancies that are required to have Accessible Type A or Type B dwelling units or sleeping units, at least 2 percent but not less than one of each type of parking space provided shall be accessible.

1156.2 3. Where at least one parking space is provided for each dwelling unit or sleeping unit, at least one accessible parking space shall be provided for each Accessible and Type A unit.

1165.5 Van Spaces For every six or fraction of six accessible parking spaces, at least one shall be a van-accessible parking space.

20.12A.880 G One space per 10,000 sq ft for nonresidential uses greater than 20,000 sq ft.

Bicycle One space per every 10 dwelling units for residential uses.

PHASE 1&2 SHARED PARKING STALLS

EV CHARGING STATION

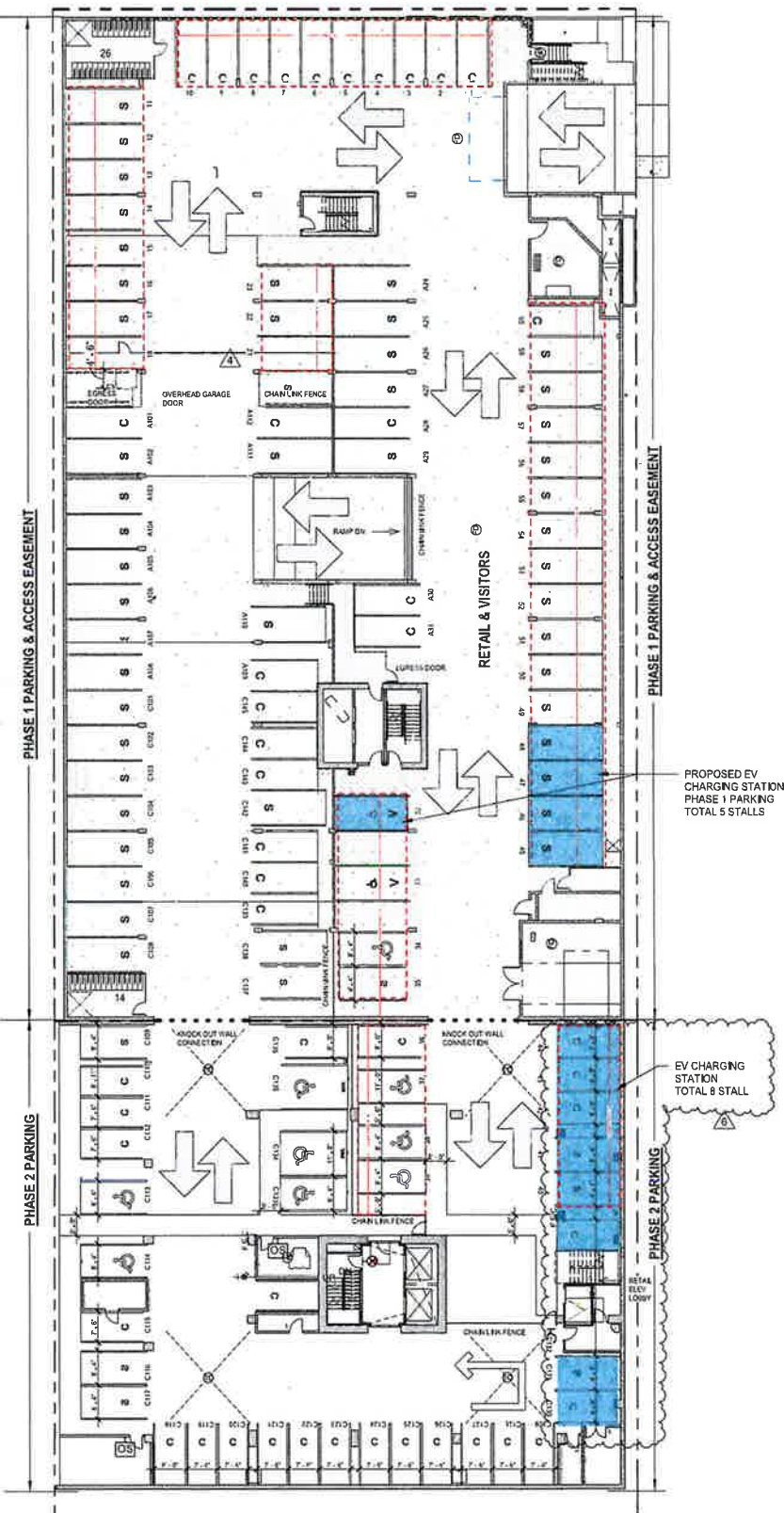
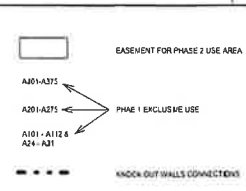
NOTE: PHASE 1&2 SHARED INCLUDES RESIDENTIAL, VISITOR, RETAIL AND RESTAURANT USES

TOTAL COMPACT (C1,C2) STALLS PROVIDED: 162 STALLS (42.8%)

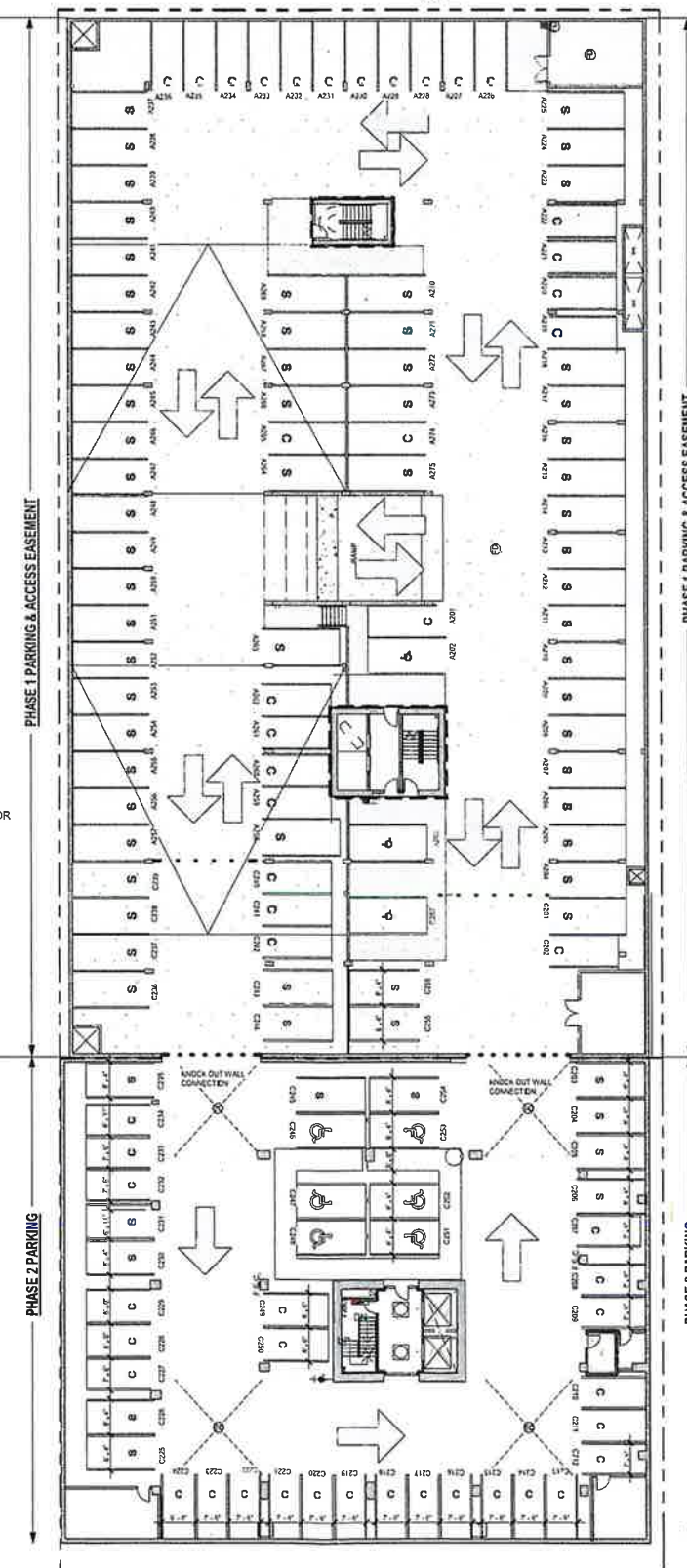
| Mark                  | Stall Length | Stall Width | Count |
|-----------------------|--------------|-------------|-------|
| Phase 2 Condo Parking |              |             |       |
| LEVEL P3              |              |             |       |
| ADA                   | 16'-0"       | 8'-4"       | 2     |
| C1                    | 15'-0"       | 7'-6"       | 26    |
| C2                    | 15'-0"       | 7'-6"       | 9     |
| S                     | 16'-0"       | 8'-4"       | 20    |
| LEVEL P2              |              |             |       |
| ADA                   | 16'-0"       | 8'-4"       | 17    |
| C1                    | 15'-0"       | 7'-6"       | 24    |
| C2                    | 15'-0"       | 7'-6"       | 7     |
| S                     | 16'-0"       | 8'-4"       | 19    |
| LEVEL P1              |              |             |       |
| ADA                   | 16'-0"       | 8'-4"       | 3     |
| ADA VAN               | 16'-0"       | 11'-0"      | 2     |
| C1                    | 15'-0"       | 7'-6"       | 23    |
| C2                    | 15'-0"       | 7'-6"       | 3     |
| S                     | 16'-0"       | 8'-4"       | 15    |

| Mark                     | Stall Length | Stall Width | Count |
|--------------------------|--------------|-------------|-------|
| Phase 1&2 Shared Parking |              |             |       |
| LEVEL P1                 |              |             |       |
| ADA                      | 16'-0"       | 8'-4"       | 4     |
| ADA VAN                  | 16'-0"       | 8'-4"       | 2     |
| C1                       | 15'-0"       | 7'-6"       | 11    |
| C2                       | 15'-0"       | 7'-6"       | 4     |
| S                        | 16'-0"       | 8'-4"       | 28    |

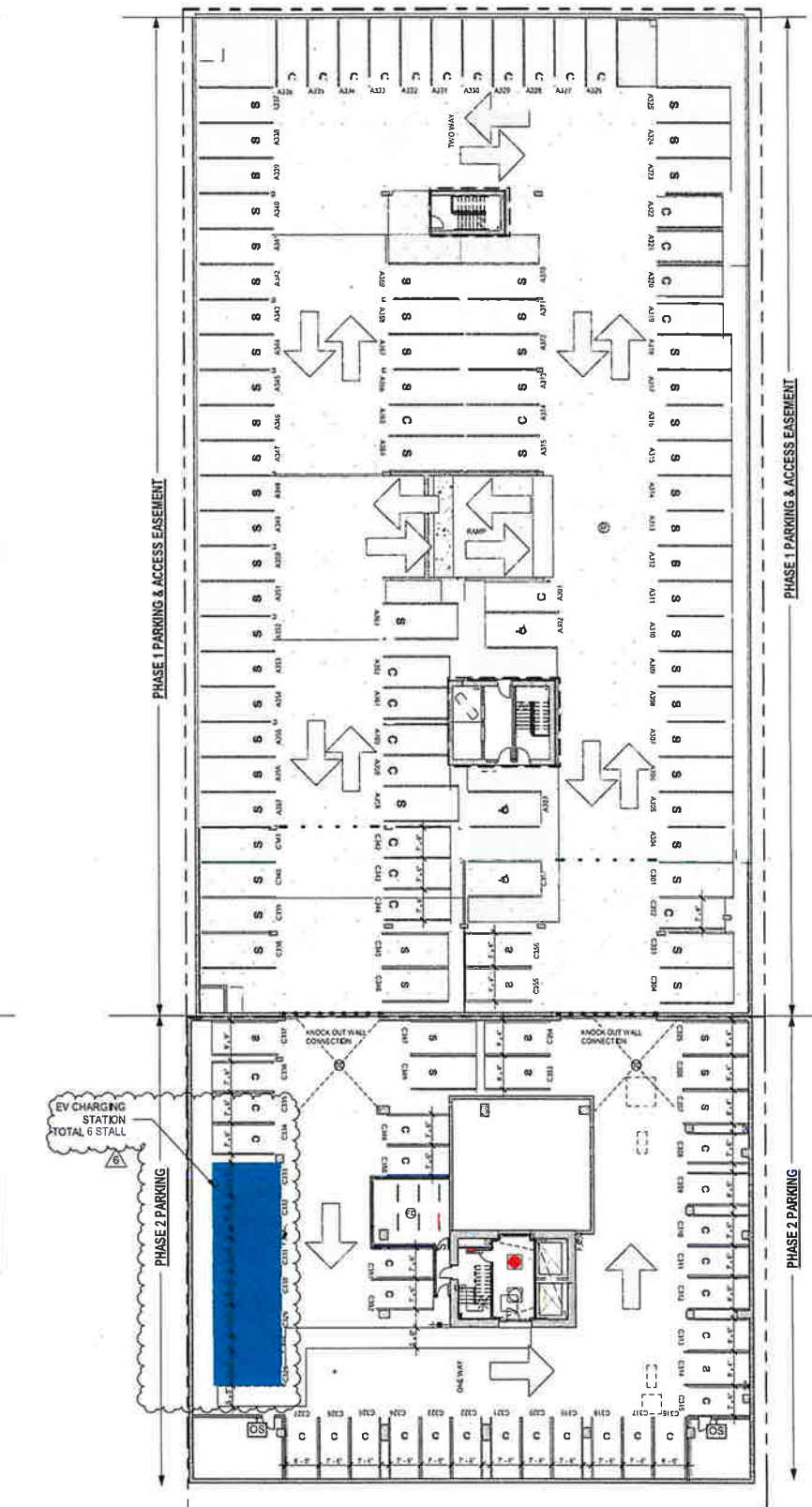
| Mark                      | Stall Length | Stall Width | Count |
|---------------------------|--------------|-------------|-------|
| Phase 1 Exclusive Parking |              |             |       |
| LEVEL P3                  |              |             |       |
| ADA                       | 16'-0"       | 8'-4"       | 2     |
| C1                        | 15'-0"       | 7'-6"       | 25    |
| S                         | 16'-0"       | 8'-4"       | 48    |
| LEVEL P2                  |              |             |       |
| ADA                       | 16'-0"       | 8'-4"       | 2     |
| C1                        | 15'-0"       | 7'-6"       | 22    |
| S                         | 16'-0"       | 8'-4"       | 51    |
| LEVEL P1                  |              |             |       |
| C1                        | 15'-0"       | 7'-6"       | 8     |
| S                         | 16'-0"       | 8'-4"       | 12    |



1 LEVEL P1  
1" = 20'-0"



2 LEVEL P2  
1" = 20'-0"



3 LEVEL P3  
1" = 20'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment Holdings, LLC

325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

REVISIONS

| NO. | Description             | Date     |
|-----|-------------------------|----------|
| 6   | ADR Rev#3 Submission    | 04/26/19 |
| 4   | ADR Rev#2 Submission    | 03/11/19 |
| 3   | ADR Rev#1 Submission    | 11/21/18 |
| 1   | MDP Revision Submission | 08/17/18 |

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E., Suite 100  
Bellevue, WA 98004  
T: 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS

818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS

818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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ADR / MDP REV#3 SUBMISSION

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N

DRAWING TITLE

-PARKING PLANS

DRAWN

Author

CHECKED

Checker

SCALE @ ARCH E

1" = 20'-0"

DATE

04/26/19

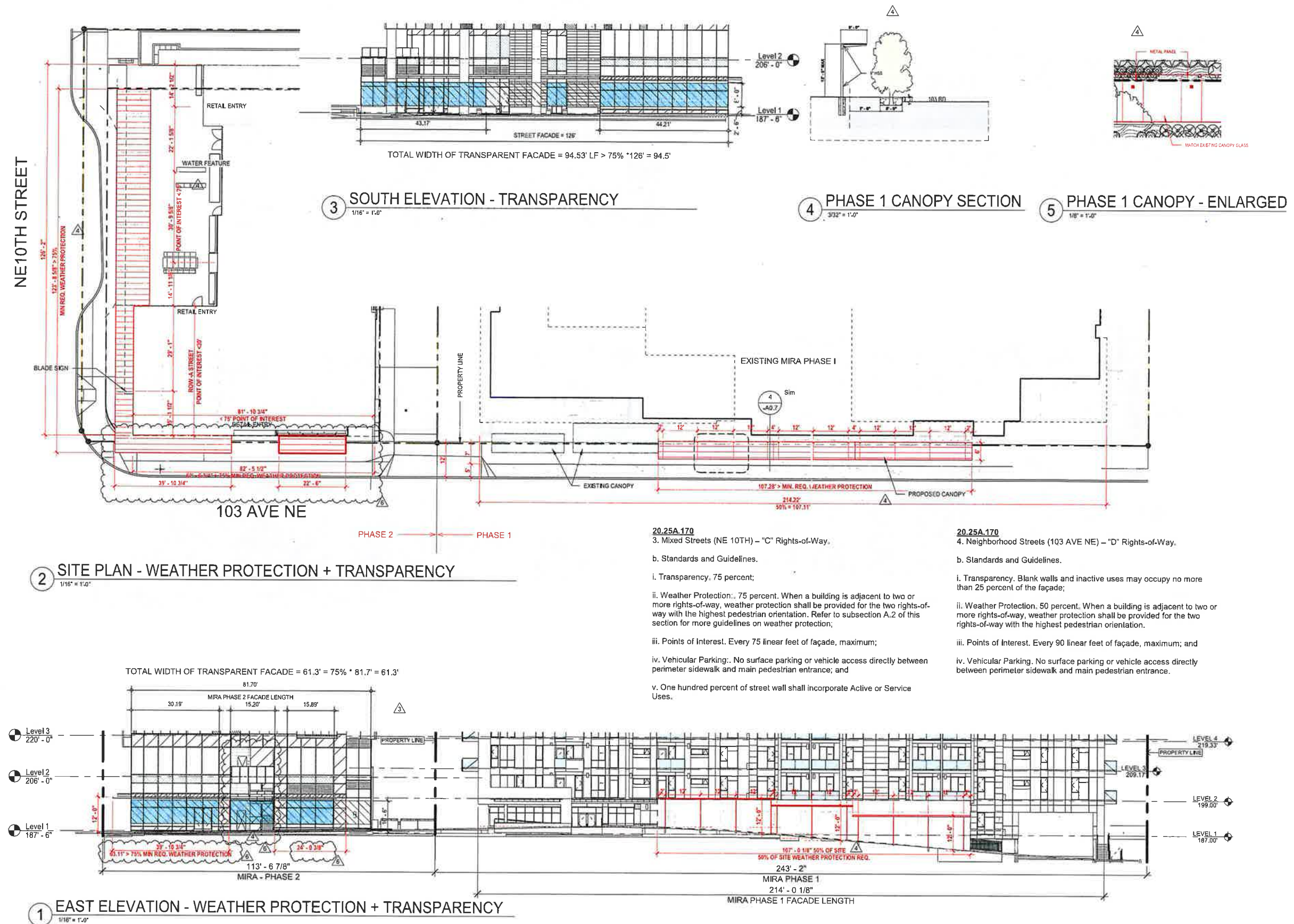
PROJECT NO.

16-023

DRAWING NO.

-A0.6

REVISION NO.



PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC

325 116th Ave. SE, Suite 101  
Bellevue, WA 98005

|     |                         |          |
|-----|-------------------------|----------|
| 5   | ADR Rev#3 Submission    | 04/28/19 |
| 4   | ADR Rev#2 Submission    | 03/11/19 |
| 3   | ADR Rev#1 Submission    | 11/21/18 |
| 2   | MOP Rev#2 Submission    | 09/07/18 |
| 1   | MOP Revision Submission | 08/17/18 |
| NO. | Description             | Date     |

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E., Suite 108  
Bellevue, WA 98004  
T: 425.559.7888

STRUCTURAL ENGINEER

DCIENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

Civil Engineer

DCIENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE WA 98101

DRAWING STATUS

**ADR / MDP REV#3 SUBMISSION**

Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



STAMP

NORTH ARROW



DRAWING TITLE

## WEATHER PROTECTION / TRANSPARENCY

DRAWN

CHECKED

SCALE @ ARCH E

DATE 04/26/19

PROJECT NO. 16-023

DRAWING NO. \_\_\_\_\_

REVISION NO.

**-A0.7**



RETAIL 202 VIEW FROM SIDEWALK



RETAIL 201 VIEW FROM SIDEWALK



PHASE I FREE STANDING CANOPIES



PHASE II CANOPY

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment Holdings, LLC

325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

|     |                      |          |
|-----|----------------------|----------|
| 6   | ADR Rev#3 Submission | 04/26/19 |
| 4   | ADR Rev#2 Submission | 03/11/19 |
| 3   | ADR Rev#1 Submission | 11/21/18 |
| NO. | Description          | Date     |

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E., Suite 108  
Bellevue, WA 98004  
T: 425-559-7889

STRUCTURAL ENGINEER

DCI ENGINEERS

816 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS

816 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

ADR / MDP REV#3 SUBMISSION

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MZA

MARCH 2019

STAMP

NORTH ARROW

N

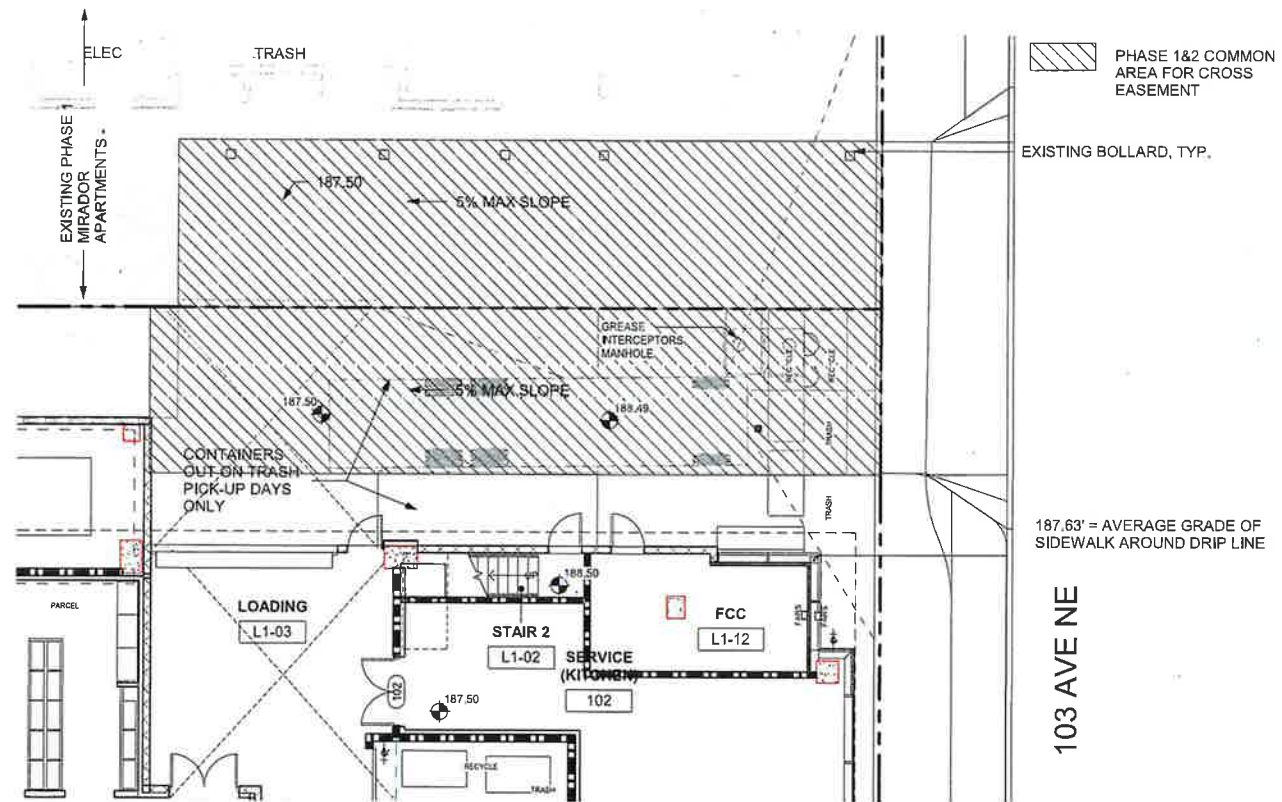
DRAWING TITLE

WEATHER PROTECTIONS /  
RETAIL ENTRY

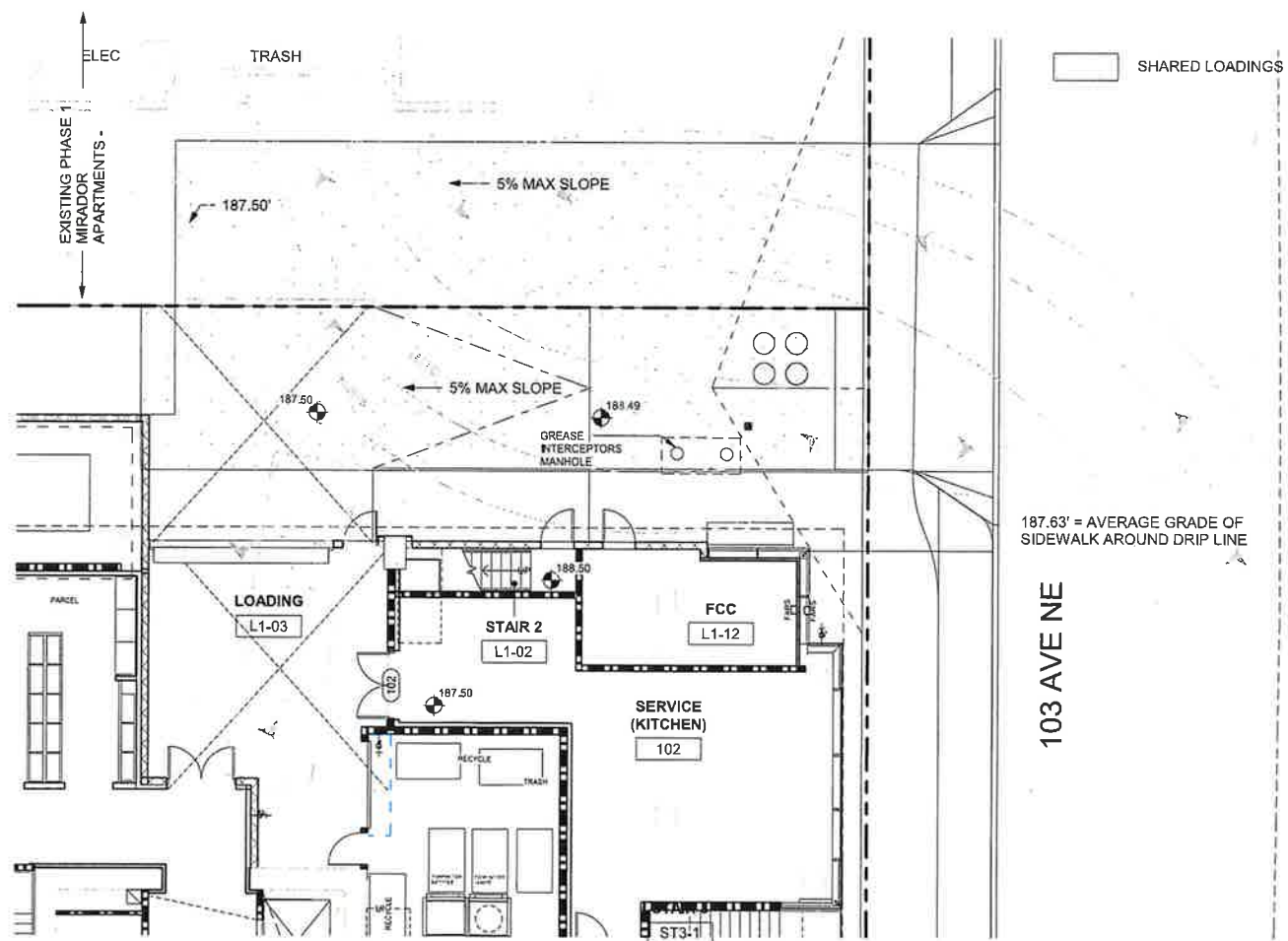
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| DRAWN          | CHECKED  |
| Author         | Checker  |
| SCALE @ ARCH E | DATE     |
|                | 04/26/19 |

PROJECT NO. 16-023

|             |              |
|-------------|--------------|
| DRAWING NO. | REVISION NO. |
| -A0.8       |              |



1 LOADING DIAGRAM - REPUBLIC GABAGE TRUCK  
1/8" = 1'-0"



2 LOADING DIAGRAM - SU-30  
1/8" = 1'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment  
Holdings, LLC325 118th Ave., SE, Suite 101  
Bellevue, WA 98005

| NO. | Description          | Date     |
|-----|----------------------|----------|
| 3   | ADR Rev#1 Submission | 11/21/18 |

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave., N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

ADR / MDP REV#3 SUBMISSION

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STAMP

NORTH ARROW



DRAWING TITLE

NOT USED

DRAWN

Author

CHECKED

Checker

SCALE @ ARCH E

1/8" = 1'-0"

DATE

04/26/19

PROJECT NO.

16-023

DRAWING NO.

-A0.9

REVISION NO.

# MIRA II

## BELLEVUE, WASHINGTON

### SYMBOL LEGEND

EXISTING PROPOSED

|      |      |                                 |
|------|------|---------------------------------|
| ■    | CB   | STORM DRAIN CATCH BASIN         |
| ■    | SDMH | STORM DRAIN MANHOLE             |
| ●    | SDCO | STORM DRAIN CLEANOUT            |
| ●    | YD   | YARD DRAIN WITH ATTRITION GRATE |
| ●    | SSCO | SANITARY SEWER CLEANOUT         |
| ●    | SSMH | SANITARY SEWER MANHOLE          |
| ⦿    | FH   | FIRE HYDRANT                    |
| ⦿    | FDC  | FIRE DEPARTMENT CONNECTION      |
| ⦿    | WV   | WATER VALVE                     |
| ⦿    | PIV  | POST INDICATOR VALVE            |
| ⦿    | WM   | WATER METER                     |
| ⦿    | GM   | GAS METER                       |
| ⦿    | EJB  | ELECTRICAL JUNCTION BOX         |
| PP   | PP   | LIGHT POLE / UTILITY POLE (P/P) |
| PP   | PP   | UTILITY POLE (P/P)              |
| GUY  | GUY  | UTILITY POLE GUY WIRE           |
| PM   | PM   | POWER METER                     |
| HP   | HP   | HEAT PUMP                       |
| COMM | COMM | COMMUNICATIONS MANHOLE          |
| MB   | MB   | MAILBOX                         |
| ⦿    | ⦿    | ROCKERY / CHECK DAM             |
| ⦿    | ⦿    | SIGN                            |

### LINE LEGEND

EXISTING

PROPOSED

|    |                               |
|----|-------------------------------|
| SS | SANITARY SEWER LINE           |
| D  | STORM DRAIN                   |
| →  | SWALE                         |
| W  | WATER LINE                    |
| P  | POWER BURIED                  |
|    | CABLE TV BURIED               |
|    | TELEPHONE BURIED              |
| G  | GAS LINE                      |
|    | OVERHEAD POWER                |
|    | OVERHEAD COMMUNICATIONS       |
|    | OVERHEAD COMMUNICATIONS/POWER |
|    | FENCE LINE                    |
|    | MINOR CONTOURS                |
|    | MAJOR CONTOURS                |

### TREE LEGEND

CONIFER  
PINE  
CEDAR  
FIR  
DECIDUOUS  
DECIDUOUS  
TREE DRIP LINE

### HATCH LEGEND

|   |                         |
|---|-------------------------|
| □ | COMMERCIAL DRIVEWAY CUT |
| □ | 2" GRIND & OVERLAY      |
| □ | NEW CONCRETE SIDEWALK   |

### LEGAL DESCRIPTION

PARCEL I:  
PARCEL A OF CITY OF BELLEVUE BOUNDARY LINE ADJUSTMENT NO. 15-122837 LW, RECORDED OCTOBER 20, 2015 UNDER RECORDING NO. 20151020900001, IN KING COUNTY, WASHINGTON.

PARCEL II:  
THE SOUTH 146.5 FEET OF THE EAST HALF OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON.

EXCEPT THE EAST 25 FEET THEREOF AND THE SOUTH 25 FEET THEREOF;

ALSO EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE CITY OF BELLEVUE FOR STREET PURPOSES BY DOCUMENT RECORDED APRIL 25, 1991 UNDER KING COUNTY RECORDING NO. 9104250909.

(BEING KNOWN AS LOT 1, BLOCK 3, MOUNTAIN VIEW TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF).

### VERTICAL DATUM - BASIS OF ELEVATION

NAVD 88 (CITY OF BELLEVUE)

### HORIZONTAL DATUM

WASHINGTON STATE COORDINATE SYSTEM  
NAVD 83/91, NORTH ZONE, 4601

### CONTOUR INTERVAL

1'

### PARCEL INFORMATION

KING COUNTY PARCEL NUMBER:  
• 570900-0060

### AREAS

|                               |         |
|-------------------------------|---------|
| TOTAL ON-SITE AREA.....       | 0.43 AC |
| LIMITS OF CONSTRUCTION.....   | 0.43 AC |
| EXISTING IMPERVIOUS AREA..... | 0.41 AC |
| EXISTING PERVIOUS AREA.....   | 0.02 AC |

|                               |         |
|-------------------------------|---------|
| LIMITS OF CONSTRUCTION.....   | 0.43 AC |
| PROPOSED IMPERVIOUS AREA..... | 0.41 AC |
| PROPOSED PERVIOUS AREA.....   | 0.02 AC |

### CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEY FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEY, FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.

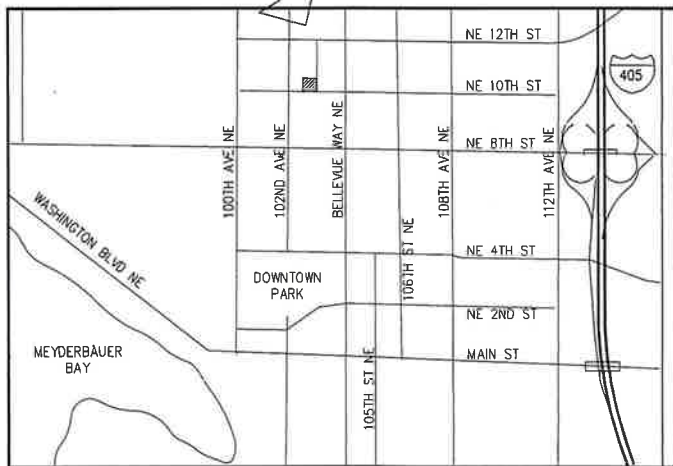
### SHEET INDEX (CLEAR & GRADING)

|   |      |
|---|------|
| TITLE SHEET & VICINITY MAP.....                       | C001 |
| SITE PLAN B.....                                      | C002 |
| DEMOLITION PLAN.....                                  | C100 |
| TESC PLAN.....  | C101 |
| TESC PLAN NOTES & DETAILS.....                        | C102 |
| TESC PLAN NOTES & DETAILS II.....                     | C103 |
| GRADING & DRAINAGE PLAN.....                          | C200 |
| WATER & SEWER PLAN.....                               | C300 |
| WATER & SEWER PROFILES.....                           | C301 |
| ROAD PLAN (NE 10TH STREET).....                       | C400 |
| ROAD PLAN (103RD AVENUE NE).....                      | C401 |
| CURB RAMP DETAILS & MEDIAN CROSS SECTIONS.....        | C402 |
| CROSSWALK, MEDIAN, CHANNELIZATION & SIGNING PLAN..... | C403 |
| HORIZONTAL CONTROL PLAN.....                          | C404 |
| GENERAL NOTES I.....                                  | C500 |
| GENERAL NOTES II.....                                 | C501 |
| GENERAL NOTES III.....                                | C502 |
| COB STANDARD DETAILS.....                             | C503 |
| COB STANDARD DETAILS.....                             | C504 |
| COB STANDARD DETAILS.....                             | C505 |
| COB STANDARD DETAILS.....                             | C506 |
| COB STANDARD DETAILS.....                             | C507 |
| COB STANDARD DETAILS.....                             | C508 |
| COB STANDARD DETAILS.....                             | C509 |
| COB STANDARD DETAILS.....                             | C510 |
| UNDERSLAB DRAINAGE.....                               | C500 |

### SHEET INDEX (UTILITY EXTENSION)

|                                 |      |
|---------------------------------|------|
| TITLE SHEET & VICINITY MAP..... | C001 |
| SITE PLAN B.....                | C002 |
| DEMOLITION PLAN.....            | C100 |
| GRADING & DRAINAGE PLAN.....    | C200 |
| WATER & SEWER PLAN.....         | C300 |
| WATER & SEWER PROFILES.....     | C301 |
| GENERAL NOTES.....              | C500 |

### SITE



### VICINITY MAP

NOT TO SCALE

### OWNER / DEVELOPER

MIRADOR CWZ, LLC  
10230 NE 10TH STREET  
BELLEVUE, WA 98004  
(206) 453-6666 CONTACT:  
ROD LEUNG

### ARCHITECT

MZA ARCHITECTURE  
600 108TH AVE NE, SUITE 108  
BELLEVUE, WA 98004  
(425) 454-0608  
CONTACT: BRAD SMITH

### STRUCTURAL ENGINEER

DCI ENGINEERS  
818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101  
(206) 332-1900  
CONTACT: TOM XIA, SE

### GEOTECHNICAL ENGINEER

PANGE INCORPORATED  
3213 EASTLAKE AVENUE EAST, SUITE B  
SEATTLE, WA 98102  
(206) 282-0370  
CONTACT: W. PAUL GRANT, PE

### CIVIL ENGINEER

DCI ENGINEERS  
818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101  
(206) 332-1900  
CONTACT: DARREN SIMPSON, PE

### SURVEYOR

KPFF CONSULTING ENGINEERS  
4200 6TH AVENUE SE, SUITE 309  
LACEY, WA 98503  
(360) 292-7230  
CONTACT: THOMAS SWIFT, PLS

### LANDSCAPE ARCHITECT

GCH  
6101 22ND AVE NW  
SEATTLE, WA 98107  
(206) 285-4422  
CONTACT: JERRY COLBURN

### TRANSPORTATION ENGINEER

TRANSPO GROUP  
11730 118TH AVENUE NE, SUITE 600  
KIRKLAND, WA 98034  
(425) 821-3665  
CONTACT: MIKE SWENSON, PE, PTOE

General Notes

E-6

REV 29 MAY 25 POC 5

DAS

TLJ

DAS

17012-0008

Seal



Revisions

Description

Date



EDCI  
ENGINEERS  
818 STEWART STREET • SUITE 1000  
SEATTLE, WASHINGTON 98101  
PHONE (206) 332-1900 • FAX: (206) 332-1600  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL  
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MZA

MIRA II

10232 NE 10TH STREET  
BELLEVUE, WA

FOR CONSTRUCTION

TITLE SHEET  
& VICINITY MAP

Scale

Date

May 29, 2018

MZA Project Number

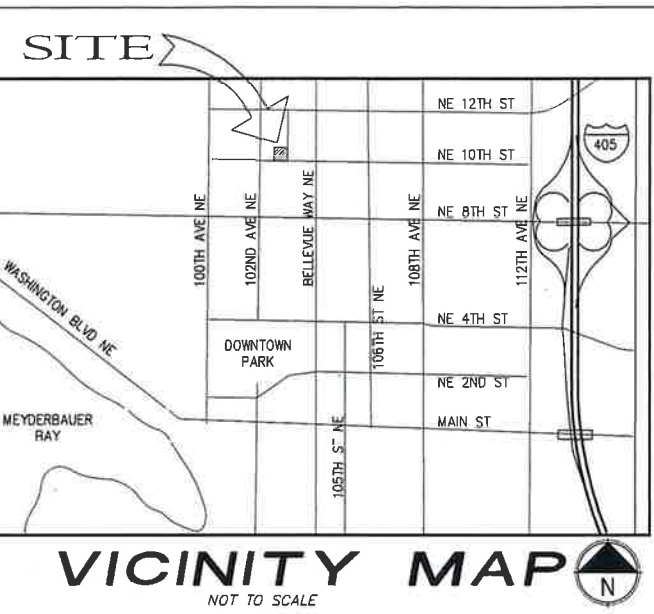
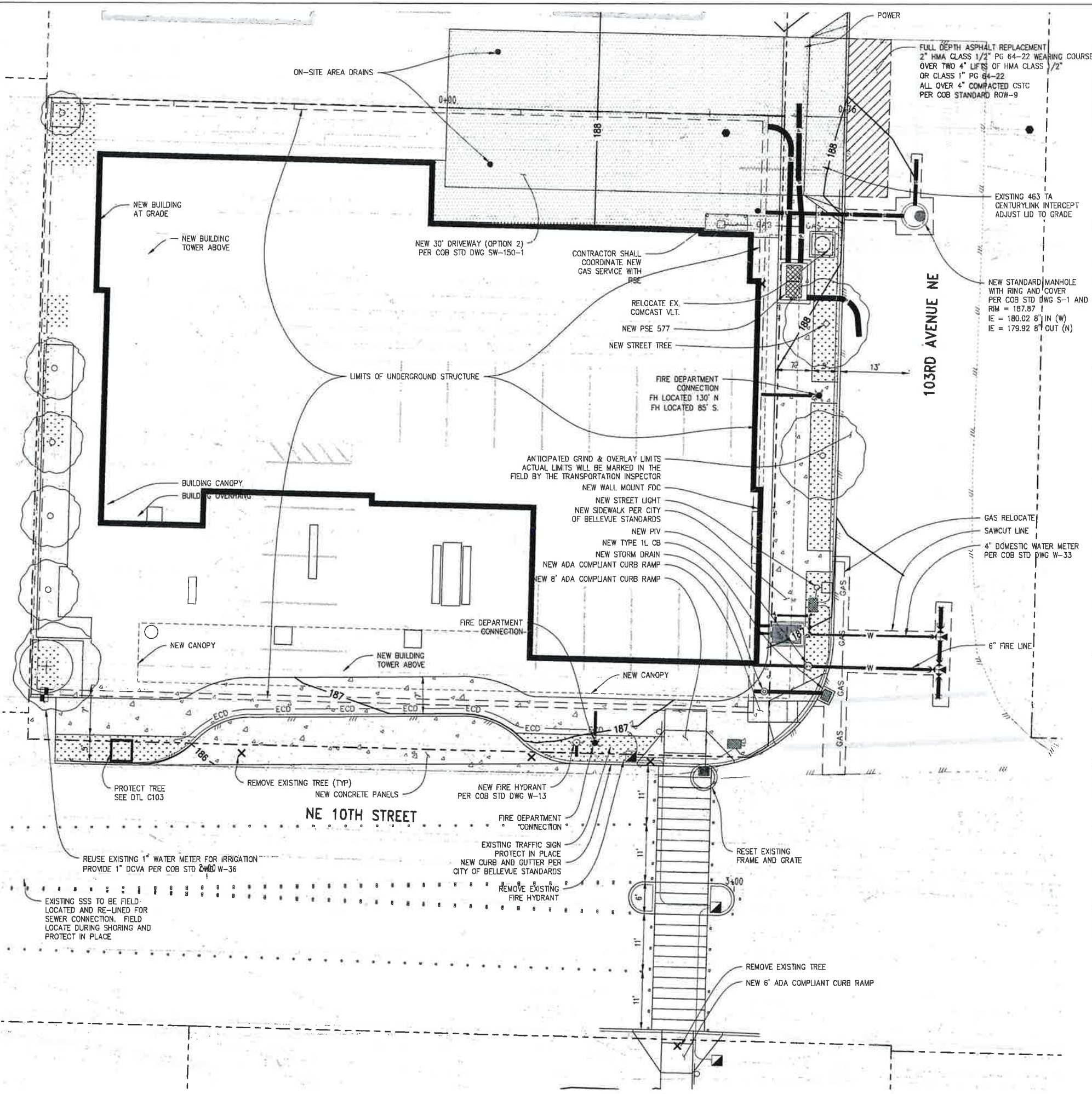
16-023\_mira

C001



FOR PERMIT  
The Engineer is responsible for submitting to the jurisdiction having authority for permits. The Contractor shall not use these drawings for construction until the jurisdiction having authority and the Engineer have approved the drawings for use in construction.

Plot Date: 05 Apr 2019 - 4:19 pm dslaplan. File Location: C:\020-Stewart\DCI\020117012-0008-103rd-Tower\dwg\17008-PLAN.dwg



**SITE**

**VICINITY MAP**  
NOT TO SCALE

**AREAS**

TOTAL ON-SITE AREA..... 0.43 AC  
LIMITS OF CONSTRUCTION..... 0.43 AC  
EXISTING IMPERVIOUS AREA..... 0.41 AC  
EXISTING PERVIOUS AREA..... 0.02 AC

**VERTICAL DATUM**

NAVD 88 (CITY OF BELLEVUE)

**PREPARED BY**

DCI ENGINEERS  
818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101  
(206) 332-1900  
CONTACT: DARREN SIMPSON, PE

**LEGAL DESCRIPTION**

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ALSO EXCEPT THAT PORTION THEREOF AS CONVEYED TO THE CITY OF BELLEVUE FOR STREET PURPOSES BY DOCUMENT RECORDED APRIL 25, 1991 UNDER KING COUNTY RECORDING NO. 9104250909.

(BEING KNOWN AS LOT 1, BLOCK 3, MOUNTAIN VIEW TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF).

**HORIZONTAL DATUM**

WASHINGTON STATE COORDINATE SYSTEM  
NAVD 83/91, NORTH ZONE, 4601

**PAVEMENT RESTORATION NOTE**

THE EXTENT OF THE ROADWAY PAVEMENT RESTORATION WILL BE DETERMINED IN THE FIELD BY THE TRANSPORTATION CONSTRUCTION INSPECTOR.

**DEMOLITION NOTE**

ALL EXISTING ON-SITE IMPROVEMENTS WILL BE REMOVED FOR THE PROPOSED CONSTRUCTION. EXISTING UTILITIES SHALL BE ABANDONED IN ACCORDANCE WITH THE CITY OF BELLEVUE ENGINEERING STANDARDS. EXISTING SERVICE LATERALS SHALL BE CAPPED AT THE MAIN.

**CONTRACTOR NOTE**

ALL EXISTING UTILITIES, WHETHER SHOWN ON THIS PLAN OR NOT, ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEY FURNISHED BY OTHERS. DCI ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEY. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.

**PLAN NOTE**

THIS PLAN IS INCLUDED AS A REGULATORY REQUIREMENT. IT IS NOT INTENDED TO BE USED FOR CONSTRUCTION.

**GRAPHIC SCALE**

1 inch = 10 ft

**UNDERGROUND SERVICE ALERT**  
ONE-CALL NUMBER  
(800)424-5555  
CALL TWO BUSINESS DAYS BEFORE YOU DIG

General Notes

E-6

18-104372  
18-104373

SECTION 29 T1P25 R05E

DAS

TLJ

DAS

17012-0008

Seal

**DARREN A. SIMPSON**  
STATE OF WASHINGTON  
REGISTERED PROFESSIONAL ENGINEER  
27856

Revisions

| Revisions | Description | Date |
|-----------|-------------|------|
|-----------|-------------|------|

**EDCI ENGINEERS**  
818 STEWART STREET • SUITE 1000  
SEATTLE, WASHINGTON 98101  
PHONE (206) 332-1900 • FAX (206) 332-1600  
WEBSITE: www.dci-engineers.com  
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MZA

MIRA II

10232 NE 10TH STREET  
BELLEVUE, WA

**FOR CONSTRUCTION**

**SITE PLAN B**

Scale

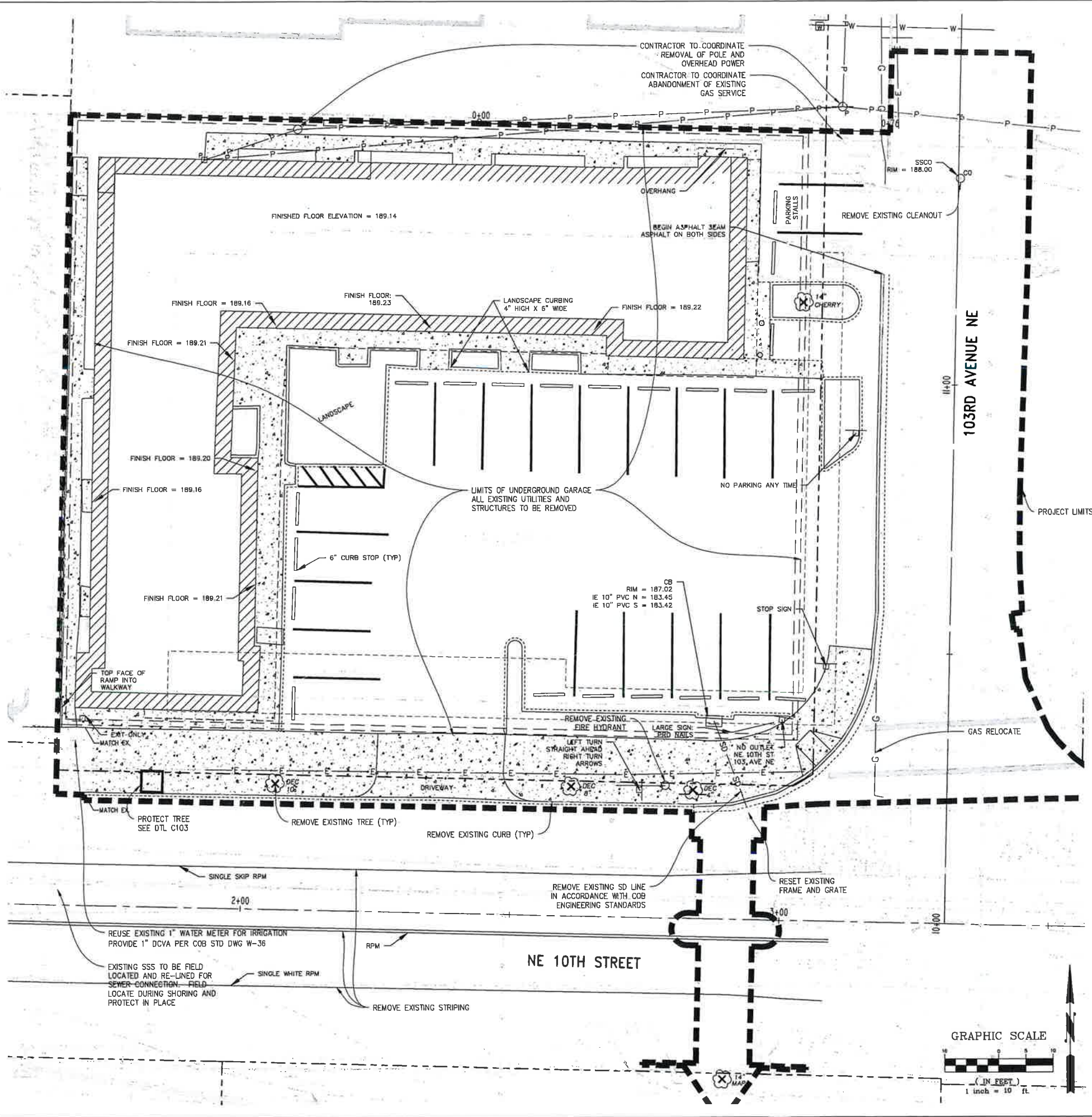
Date May 29, 2018

MZA Project Number 16-023\_mira

**C002**

FOR PERMIT  
These drawings are submitted for review and approval by the City of Bellevue Engineering Standards Department. The Contractor shall not use these drawings for construction until the City of Bellevue Engineering Standards Department has issued a permit.

Plot Date: 05 Apr 2019 - 4:19 pm dmpmason File Location: C:\0120\Seattle\Del-City\171012\00016-103rd-Tower.dwg(171008-PLN.dwg)



### CONTRACTOR NOTE

ALL EXISTING UTILITIES, WHETHER SHOWN ON THIS PLAN OR NOT, ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEY FURNISHED BY OTHERS. DCI ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEY. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.

### DEMOLITION NOTE

ALL EXISTING ON-SITE IMPROVEMENTS WILL BE REMOVED AS NOTED OR NEEDED FOR THE PROPOSED CONSTRUCTION. EXISTING UTILITIES NOTED OR NEEDED TO BE ABANDONED SHALL BE ABANDONED IN ACCORDANCE WITH THE CITY OF BELLEVUE ENGINEERING STANDARDS. EXISTING SERVICE LATERALS SHALL BE CAPPED AT THE MAIN, UNLESS NOTED OTHERWISE.

### TEMPORARY EROSION & SEDIMENT CONTROL

A CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN (CSWPPP) HAS BEEN SUBMITTED UNDER THE CLEARING AND GRADING PERMIT. NPDES COVERAGE IS REQUIRED FROM THE WSDOE. THE CSWPPP IS A LIVING DOCUMENT THAT SERVES AS A GUIDE FOR THE SELECTION OF APPROPRIATE BMPs. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND CESCL TO INSURE THAT THE CONDITIONS OF NPDES COVERAGE ARE MET AT ALL TIMES AND IN ALL PHASES OF CONSTRUCTION. IF EROSION AND SEDIMENT CONTROL BMPs ARE NOT FUNCTIONING AS INTENDED OR CONSTRUCTION STORMWATER IS NOT WITHIN THE ALLOWABLE LIMITS REQUIRED UNDER THE PERMIT, THE CESCL SHALL CORRECT OR IMPLEMENT ADDITIONAL BMPs TO REMAIN IN PERMIT COMPLIANCE.

COMPLIANCE WITH CONSTRUCTION STORMWATER REGULATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

### PEDESTRIAN PROTECTION PLAN

CONTRACTOR SHALL SECURE THE SITE WITH AN 8' TEMPORARY CHAINLINK FENCE. CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION IN ACCORDANCE WITH THE 2012 IBC SECTION 3306. WHEN CONSTRUCTION IS OVERHEAD AND ADJACENT TO EXISTING PEDESTRIAN PATHWAYS, CONTRACTOR SHALL PROVIDE COVERED WALKWAYS IN ACCORDANCE WITH IBC SECTION 3306.7.

### TREE PROTECTION NOTE

ALL TREES NOT LABELED TO BE REMOVED ON THIS PLAN SHALL BE PROTECTED FOR THE DURATION OF CONSTRUCTION. TREE PROTECTION PROCEDURES SHALL BE ACCORDING TO CITY OF BELLEVUE BMP 1101.

### CONSTRUCTION NOTES

1. THE PROJECT GEOTECHNICAL ENGINEER SHALL BE ON SITE TO OBSERVE AND/OR INSPECT SOIL CUTS AND FILLS INCLUDING ROCKERY, UTILITY AND ROAD CONSTRUCTION. THE GEOTECHNICAL ENGINEER SHALL SUBMIT INSPECTION REPORTS DOCUMENTING CONFORMANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT BY PANGELO, INCORPORATED (DATED JANUARY 29TH, 2015 WITH AN UPDATED LETTER DATED JUNE 21, 2017). DESIGN MODIFICATIONS MAY BE REQUIRED AT CONSTRUCTION IF PERFORMANCE SPECIFICATIONS ARE NOT MET.
2. SHOULD GEOTECHNICAL MONITORING DURING GRADING FOR ROADS AND UTILITIES INDICATE THE PRESENCE OF HIGH LEVELS OF GROUNDWATER, THE GEOTECHNICAL ENGINEER/CIVIL ENGINEER SHALL SUBMIT A REPORT THAT ADDRESSES THE IMPACT OF GROUNDWATER ON INFRASTRUCTURE AND INCLUDE RECOMMENDATIONS, IF NECESSARY, FOR SPECIFIC DESIGN CHANGES SUFFICIENT TO PREVENT SETTLEMENT AND TO ENSURE LONG-TERM STABILITY OF THE HOUSES AND INFRASTRUCTURE. THE REPORT SHALL ALSO INCLUDE RECOMMENDATIONS FOR GROUNDWATER INTERCEPTION AS NEEDED TO ENSURE THAT SUCH FLOWS, ESPECIALLY DURING SEASONALLY SATURATED PERIODS, DO NOT ADVERSELY IMPACT BUILDINGS WITHIN THE PUD OR CONTRIBUTE TO EXCESSIVE AND UNCONTROLLED EROSION DURING CONSTRUCTION. IMPLEMENTATION OF RECOMMENDATIONS CONTROL GROUNDWATER SHALL TAKE PLACE AS NECESSARY DURING CONSTRUCTION AND MUST BE COMPLETED PRIOR TO ANY APPROVAL OF OCCUPANCY.
3. CLEARING LIMITS SHALL BE ESTABLISHED AT THE LIMIT OF NONDISTURBED AREAS AND FOR RETAINED TREES WITHIN THE DEVELOPED PORTION OF THE SITE, OUTSIDE OF DRIP LINES. SIX FOOT CHAIN LINK FENCING WITH DRIVEN POSTS, OR APPROVED ALTERNATE, SHALL BE INSTALLED AT THE CLEARINGS LIMITS PRIOR TO INITIATION OF CLEARING AND GRADING.
4. NO EXCAVATION OR CLEARING SHOULD BE PERFORMED WITHIN DRIP LINES OF RETAINED TREES EXCEPT AS SPECIFICALLY APPROVED ON PLANS. ALL SUCH WORK SHALL BE DONE BY HAND TO AVOID DAMAGE TO ROOTS AND SHALL BE DONE UNDER THE SUPERVISION OF AN ARBORIST APPROVED BY THE CITY.
5. THE PROJECT ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR ESTABLISHING A MONITORING PROGRAM TO ENSURE THE EFFECTIVE IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES.
6. **CONTRACTOR PLEASE NOTE:** DUE TO WET WEATHER CONDITIONS, NEW CONSTRUCTION STARTS MAY BE LIMITED TO PROJECTS WHERE EXTRAORDINARY EROSION PROTECTION IS PROVIDED. DEPENDING ON THE WEATHER, WE WILL IMPOSE LIMITATIONS ON NEW STARTS AND SITE EXCAVATION THROUGH THE FIELD INSPECTION PROCESS UNTIL WE HAVE A CHANGE TO A DRIER WEATHER PATTERN. CLEAR AND GRADE FIELD INSPECTORS SHOULD BE CONTACTED BY PHONE PRIOR TO SCHEDULING START-UP FOR A SITE-SPECIFIC START ON A SPECIFIC DATE. SEE THE CLEARING AND GRADING COVER SHEET FOR THE NAME OF THE INSPECTOR, AND THE CONDITIONS OF APPROVAL.
7. **CONSTRUCTION NOISE:** CONSTRUCTION NOISE OUTSIDE THE ALLOWABLE HOURS IS PROHIBITED PER BCC 9.18.040. TO BE CONSIDERED A VIOLATION, THE CONSTRUCTION-RELATED NOISE MUST BE AUDIBLE ACROSS A PROPERTY LINE OR AT LEAST 75 FEET FROM THE SOURCE. ANY VIOLATION IS A CIVIL INFRACTION AND THE CITY MAY ASSESS A MONETARY PENALTY TO THE INDIVIDUAL CREATING THE NOISE.
8. **FOR ALL COMMERCIAL, MULTI-FAMILY AND NEW SINGLE-FAMILY HOMES:**  
8A. CONSTRUCTION-RELATED NOISE IS ALLOWED:  
7AM TO 6PM ON WEEKDAYS  
9AM TO 6PM ON SATURDAYS  
8B. CONSTRUCTION RELATED NOISE IS NOT ALLOWED:  
OUTSIDE OF ALLOWABLE HOURS  
LEGAL HOLIDAYS  
SUNDAYS
9. **MOBILIZATION/STOCKPILE AREA:** ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING AND GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE DPDC INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY DUMPING.
10. **FOUNDATION INSTALLATION AFTER UTILITIES AND AFTER COMPLETION:** FOR WORK IN THE WET WEATHER SEASON, ALL UTILITY INSTALLATIONS MUST BE COMPLETED AND ATB IN PLACE PRIOR TO THE COMMENCEMENT OF ANY FOUNDATION WORK FOR THE BUILDINGS.
11. **SHORING:** NO NAILS, WHETHER TEMPORARY OR PERMANENT MAY BE PLACED OVER CITY OF BELLEVUE UTILITIES' MAINS, AND NO NAILS MAY BE PLACED WITHIN FIVE FEET UNDER CITY OF BELLEVUE UTILITIES' MAINS. DEMONSTRATION OF THIS MUST BE INCLUDED ON THE SHORING PLANS.

UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
(800)424-5555  
CALL TWO BUSINESS DAYS  
BEFORE YOU DIG

General Notes

18-104372 00  
18-104373 00

SEL 29 TYP 25 PGE 5

DAS

TLJ

DAS

17012-0008

Seal

Revisions

| Description | Date |
|-------------|------|
|-------------|------|

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MZA

MIRA II

10232 NE 10TH STREET  
BELLEVUE, WA

FOR CONSTRUCTION

DEMOLITION PLAN

Scale

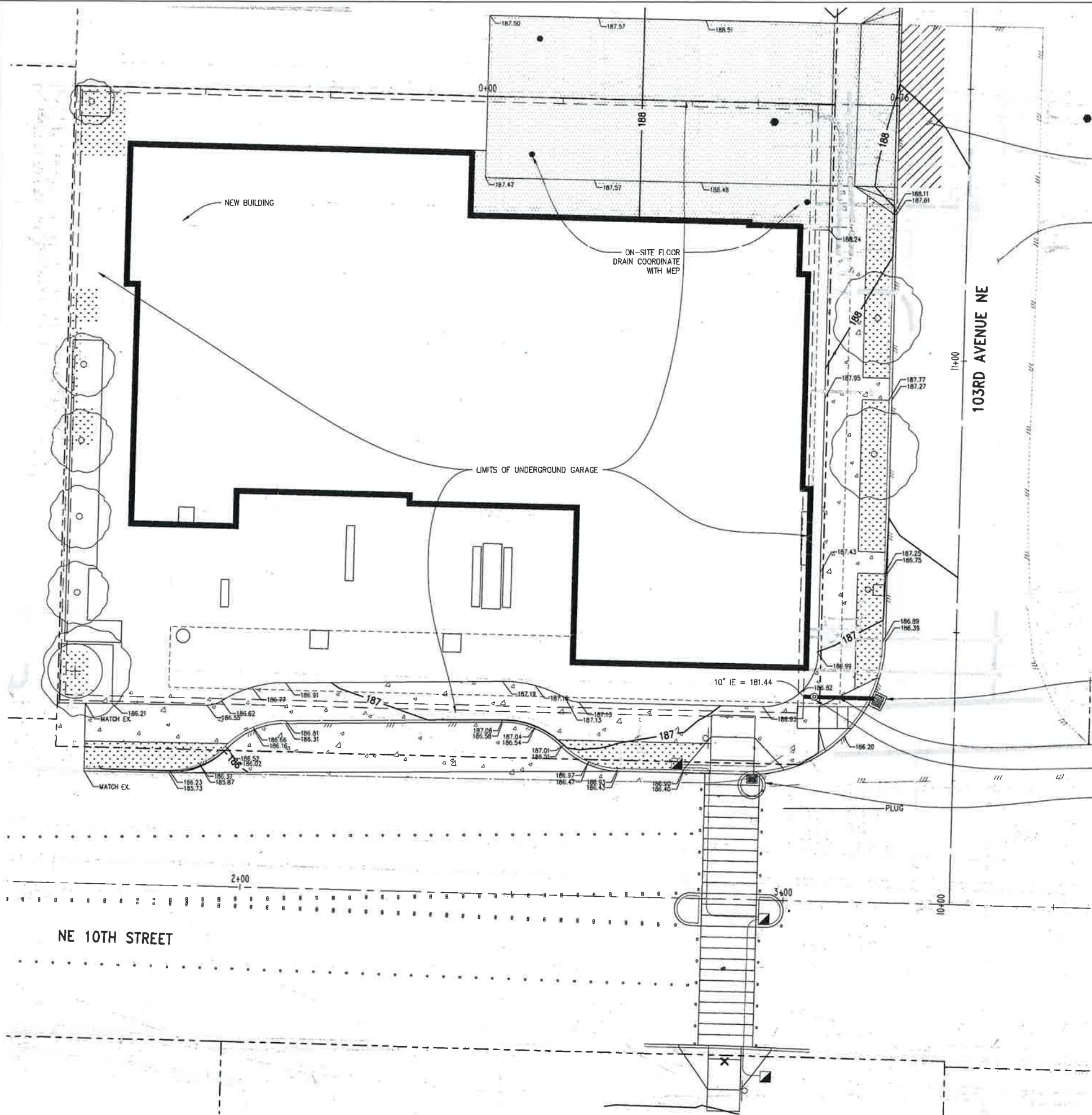
Date May 29, 2018

MZA Project Number 16-023\_mira

C100

FOR PERMIT  
This drawing is for construction of the proposed building shown. The Contractor shall not use these drawings for construction until Contractor receives written approval for use in construction from the jurisdiction having authority and CCI Engineers.

Plot Date: 05 Apr 2019 - 4:18 pm  
File Location: O:\1023-Seattle\DCI\2017\1012-0006-103rd-Township\1003-PUL.dwg



**NOTE**  
ACTUAL LIMITS OF PAVEMENT RESTORATION WILL BE MARKED IN THE FIELD BY THE TRANSPORTATION CONSTRUCTION INSPECTOR.

FULL DEPTH ASPHALT REPLACEMENT  
2" HMA CLASS 1/2" PG 64-22 WEARING COURSE  
OVER TWO 4" LIFTS OF HMA CLASS 1/2"  
OR CLASS 1" PG 64-22  
ALL OVER 4" COMPACTED CSTC  
PER COB STANDARD ROW-9  
  
ANTICIPATED GRIND & OVERLAY LIMITS  
ACTUAL LIMITS WILL BE MARKED IN THE  
FIELD BY THE TRANSPORTATION INSPECTOR

NEW TYPE 1L CB  
PER COB DTL D-3  
AND D-9  
RIM 186.10  
IE 12" 181.14 NW, SE  
IE 10" 181.30 W  
  
NEW 14 LF 10" PVC SD @ 1%  
  
NEW CLEANOUT  
PER COB STD DWG D-52  
  
RESET EXISTING  
FRAME AND GRATE  
PER COB DTL D-6  
D-9, AND D-23  
RIM=186.30

GRAPHIC SCALE  
1" = 10' FT  
  
UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
(800)424-5555  
CALL TWO BUSINESS DAYS  
BEFORE YOU DIG

General Notes  
E-6  
15-104372 AL  
15-104372 IE  
SEC 29 TRIP 25 PAGE 5

DAS  
TLJ  
DAS  
17012-0008

Seal  
DAKIN A. SIMPSON  
STATE OF WASHINGTON  
REGISTERED  
PROFESSIONAL ENGINEER  
17856

Revisions  
Description  
Date

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10232 NE 10TH STREET  
BELLEVUE, WA  
FOR CONSTRUCTION

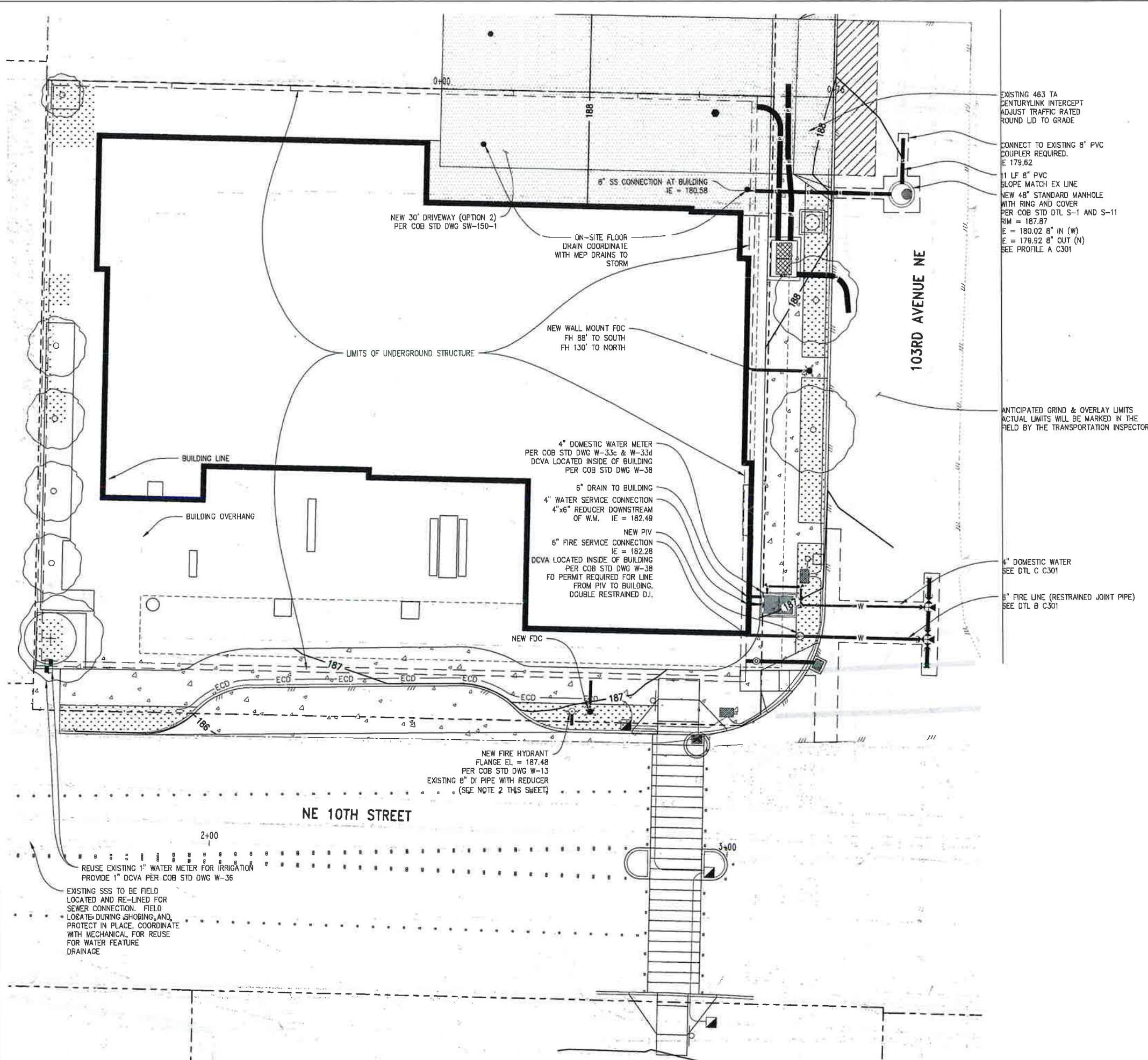
GRADING &  
DRAINAGE PLAN

Scale  
Date May 29, 2018  
MZA Project Number 16-023\_mira

C200

FOR PERMIT  
These drawings are submitted for submission to the jurisdiction having authority for permit. The Contractor shall not use these drawings for construction until Contractor receives written approval for use in construction by the jurisdiction having authority and seal of a Professional Engineer.

Plot Date: 05 Apr 2019 - 4:19 pm dmsimpson File Location: C:\0120-Seattle\DCI-CM\2017\17012-0008-103rd-Township\17008-PL N.dwg



NOTE

1. WATER MAINS ARE IN A BV 400 PRESSURE ZONE
2. EXISTING FH VALVE SHALL BE PRESSURE TESTED PRIOR TO FH INSTALL. REPLACE VALVE IF NECESSARY AND RESTORE CONCRETE PANEL AS DIRECTED BY TRANSPORTATION INSPECTOR.

General Notes

E-6

18-104372-01

18-104372-02

SEC 29 MPA 25 P. 5

DAS

TLJ

DAS

17012-0008

Seal

Revisions

| Description | Date |
|-------------|------|
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MIRA II

10232 NE 10TH STREET  
BELLEVUE, WA

FOR CONSTRUCTION

WATER &  
SEWER PLAN

Scale

Date May 29, 2018

MZA Project Number 16-023\_mira

WATER ZONE BV 400

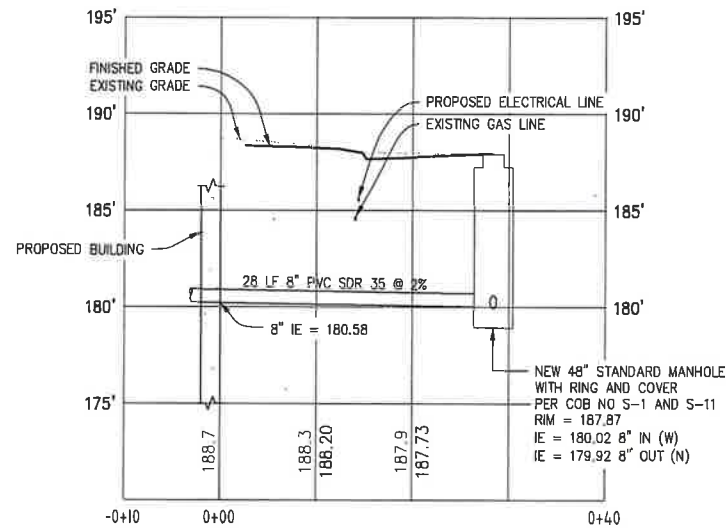
C300

GRAPHIC SCALE

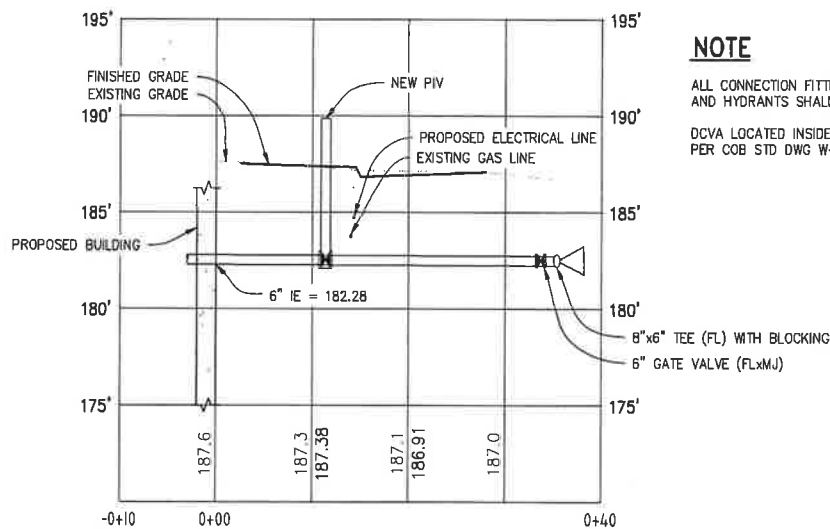
( IN FEET )  
1 inch = 10 ft

UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
(800)424-5555  
CALL TWO BUSINESS DAYS  
BEFORE YOU DIG

FOR PERMIT  
This drawing is for construction of the sewerage system for the proposed building. The Contractor shall not use these drawings for construction until the Contractor receives written approval from the jurisdiction having authority and the Engineer.

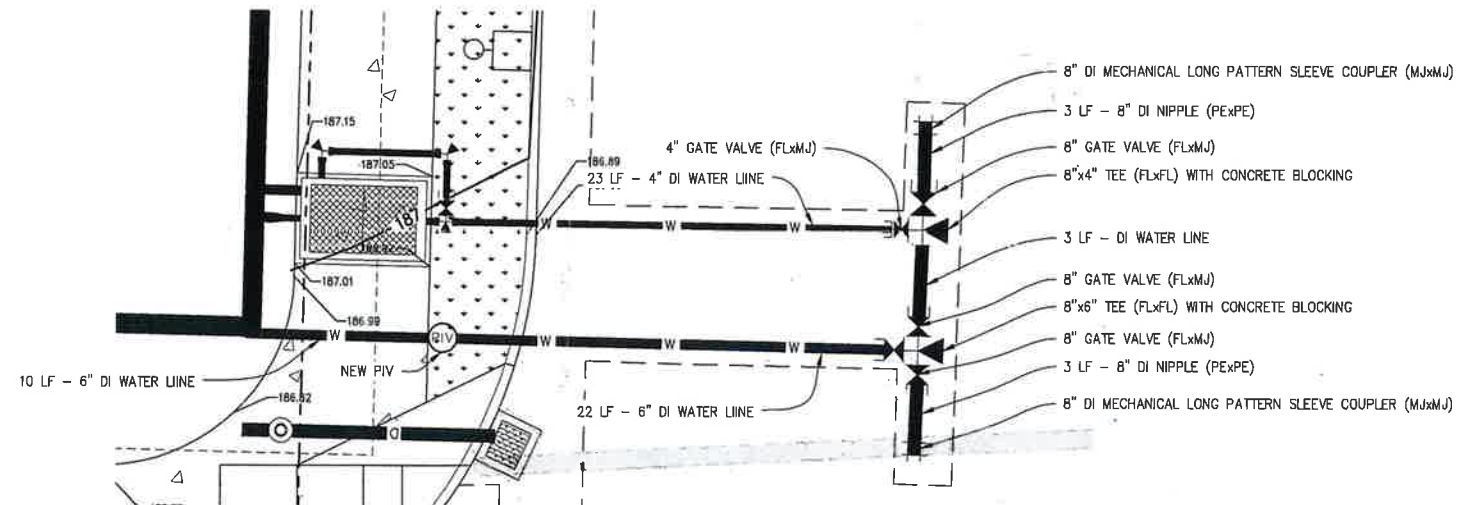


**A** **SANITARY SIDE SEWER PROFILE**  
VERTICAL SCALE: 1" = 5' HORIZONTAL SCALE: 1" = 10'

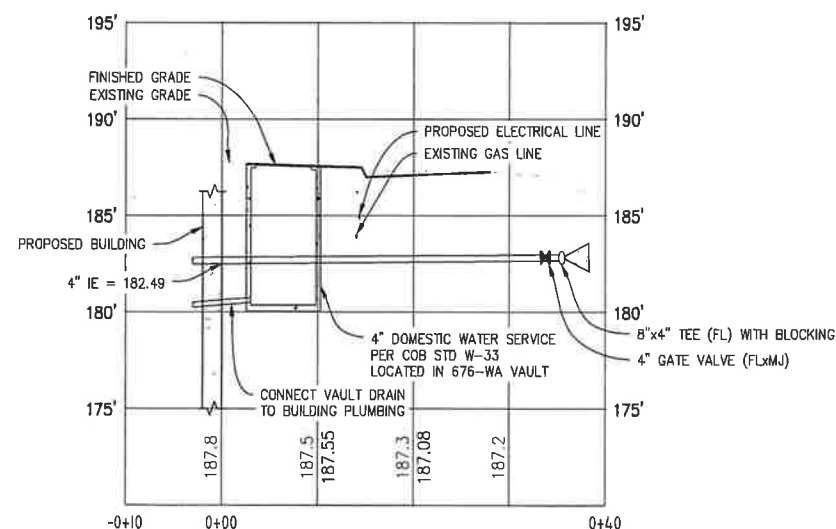


**B** **FIRE SERVICE LINE PROFILE**  
VERTICAL SCALE: 1" = 5' HORIZONTAL SCALE: 1" = 10'

**NOTE**  
ALL CONNECTION FITTINGS FOR FIRE LINES AND HYDRANTS SHALL BE RESTRAIN JOINTS  
DCVA LOCATED INSIDE OF BUILDING PER COB STD DWG W-38



**103RD AVENUE NE WATER CONNECTIONS**  
SCALE: 1" = 5'



**C** **WATER SERVICE LINE PROFILE**  
VERTICAL SCALE: 1" = 5' HORIZONTAL SCALE: 1" = 10'

General Notes

1. E-6

2. 18-104372-100

3. 18-104373-100

4. SEE 29 FOR 25 AND 5

5. DAS

6. TLJ

7. DAS

8. 17012-0008



| Revisions | Description | Date |
|-----------|-------------|------|
|           |             |      |
|           |             |      |
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10232 NE 10TH STREET  
BELLEVUE, WA  
FOR CONSTRUCTION

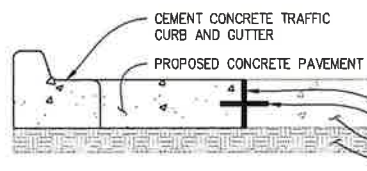
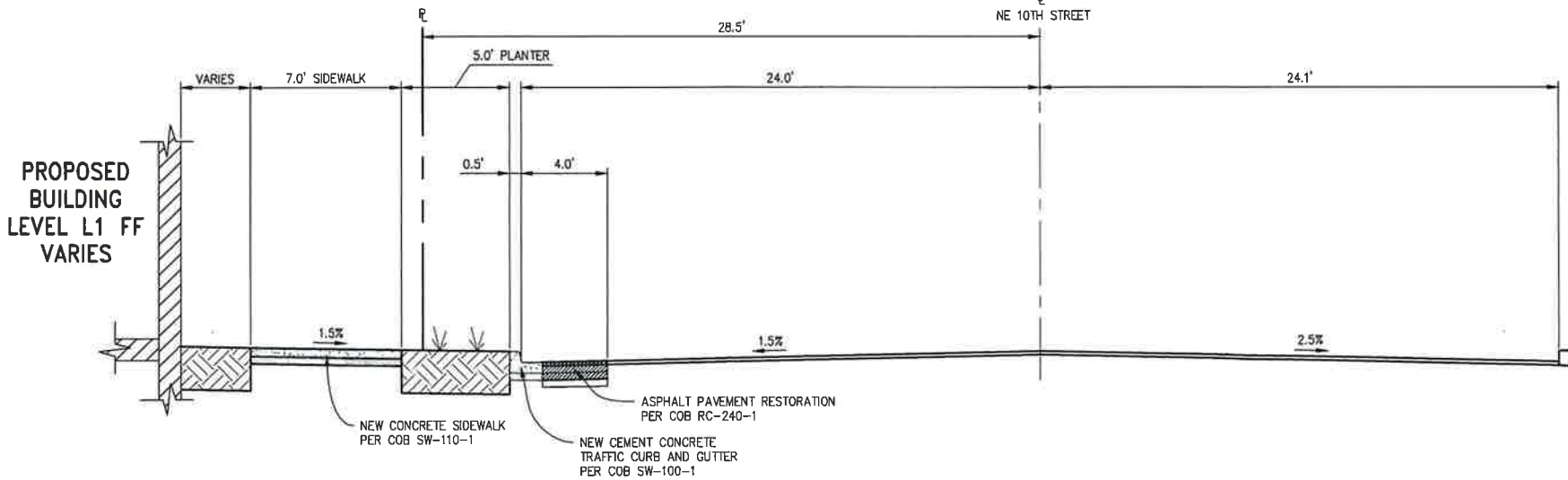
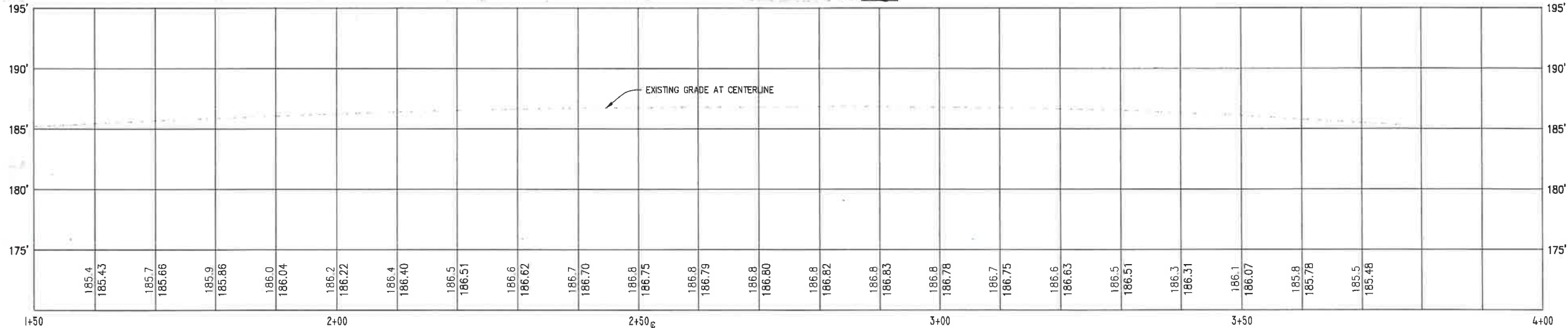
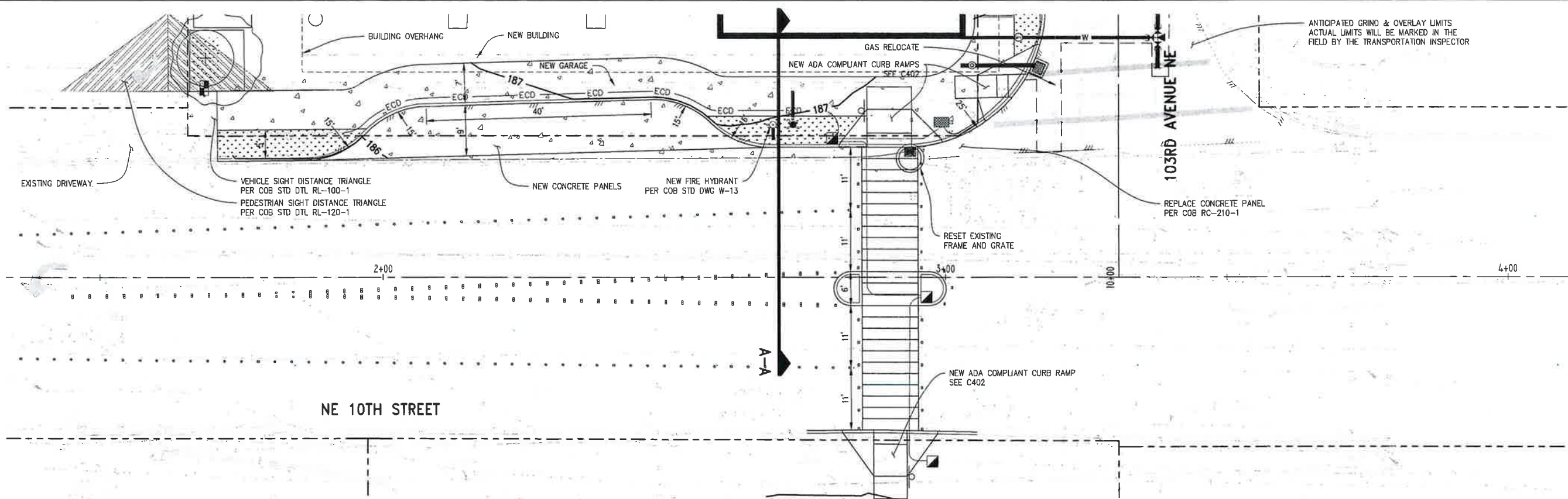
**WATER & SEWER PROFILES**

|                    |              |
|--------------------|--------------|
| Scale              |              |
| Date               | May 29, 2018 |
| MZA Project Number | 16-023_mira  |

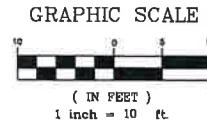


C301

FOR PERMIT  
The undersigned hereby certifies that the information furnished herein is true and correct to the best of his knowledge and belief, and that he is a duly licensed Professional Engineer in the State of Washington.



CONCRETE PAVEMENT RESTORATION  
NTS



General Notes:  
1. ANTICIPATED GRIND & OVERLAY LIMITS  
ACTUAL LIMITS WILL BE MARKED IN THE  
FIELD BY THE TRANSPORTATION INSPECTOR

18-104372-01  
18-104373-01

SEC 29 TIP 25 PGE 5

DAS

TLJ

DAS

17012-0008

Seal

DAKREN A. SIMPSON  
PROFESSIONAL ENGINEER

Revisions

| Revisions | Description | Date |
|-----------|-------------|------|
|-----------|-------------|------|

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MZA

MIRA II

10232 NE 10TH STREET  
BELLEVUE, WA

FOR CONSTRUCTION

ROAD PLAN  
(NE 10TH STREET)

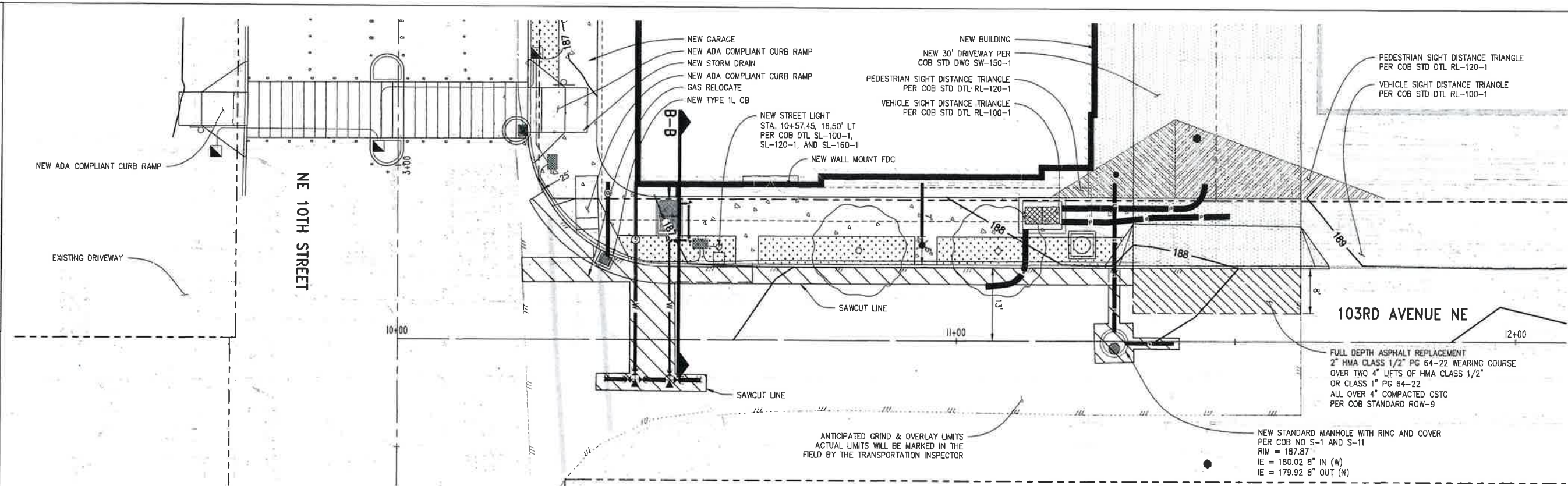
Scale

Date May 29, 2018

MZA Project Number 16-023\_mira

C400

FOR PERMIT

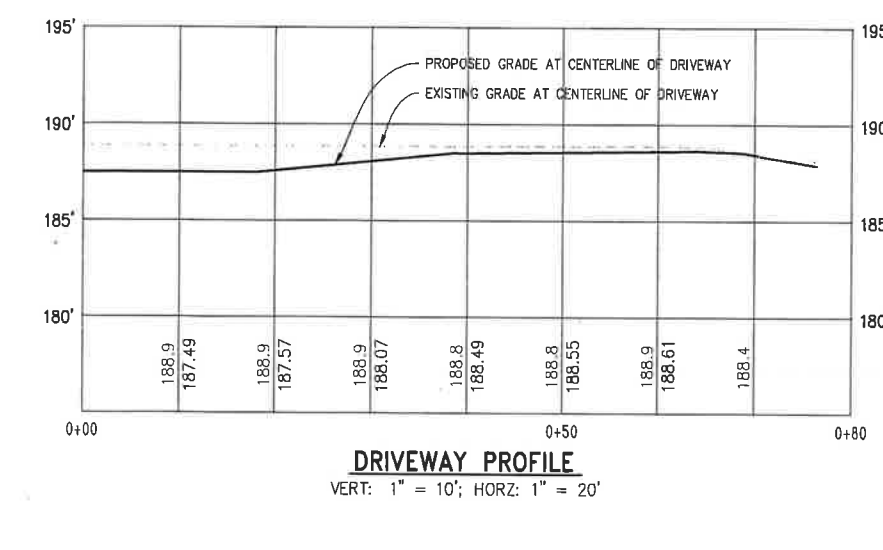
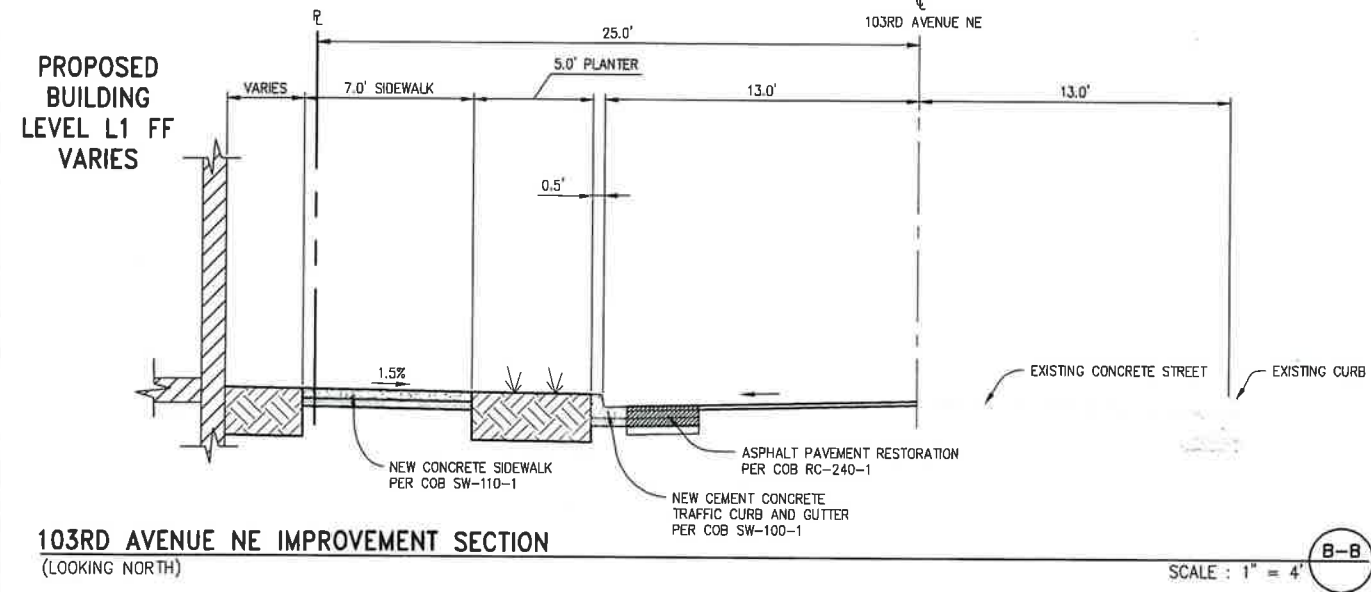
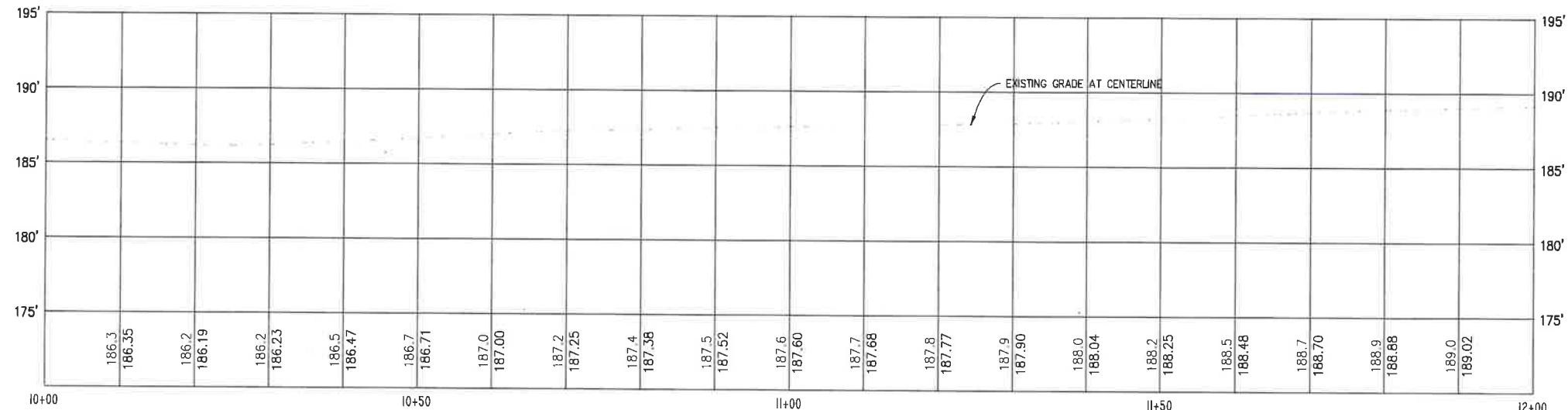


### STREET LIGHT NOTE

1. STREETLIGHT INSTALLED PER COB DTL SL-100-1, SL-120-1, AND SL-160-1.
2. LIGHT SHALL BE A 21" KIM CCS 120 LED THAT IS DIMMED TO 50%. LIGHT SHALL BE MOUNTED ON 10M CONCRETE POLE. CENTERLINE OF POLE SHALL BE LOCATED AT 3.5' FROM FACE OF CURB. FOUNDATION SHALL BE 5' OF CLASS 3000 CONCRETE PER COB STD.
3. STREETLIGHT POLE TO INCLUDE "NO PARKING ANY TIME" SIGN R7-101.
4. ALL STREET TREES WILL BE PLANTED MINIMALLY 20 FT FROM STREETLIGHT POLES.

### CONDUIT AND WIRE NOTES

1. 2" SCHEDULE 40 STREETLIGHT CONDUIT WILL CONTAIN 2-#8 THWN WIRES AND 1-#8 GRND WIRE, INSULATED.
2. 12-2 VNTC TRAY CABLE IN A 2" CONDUIT TO BE USED BETWEEN JUNCTION BOX AND UP THE POLE.



GRAPHIC SCALE  
1 inch = 10 feet

UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
(800)424-5555  
CALL TWO BUSINESS DAYS  
BEFORE YOU DIG

General Notes

E-6

2-104372 SL  
15-104372 UE

SEC 20 TIP 25 PGE 5

DAS

TLJ

DAS

17012-0008

Seal

Revisions

DESCRIPTION

DATE

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MIRA II

10232 NE 10TH STREET  
BELLEVUE, WA

FOR CONSTRUCTION

ROAD PLAN  
(103RD AVENUE NE)

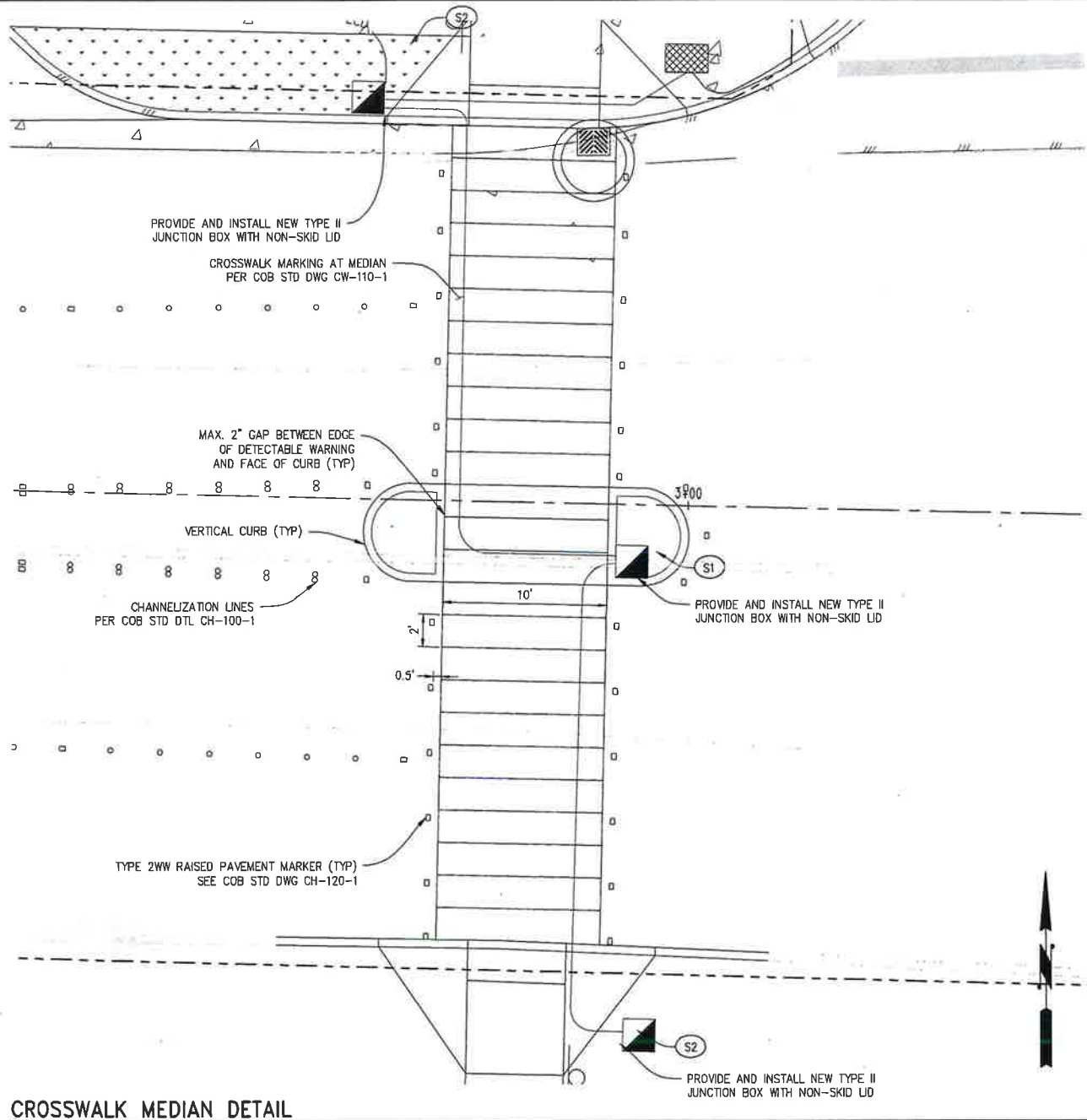
Scale

Date May 29, 2018

MZA Project Number 16-023\_mira

C401

FOR PERMIT  
The Contractor shall not use these drawings for construction until the City Engineer has approved them for use in construction by the jurisdiction having authority and the City Engineer.

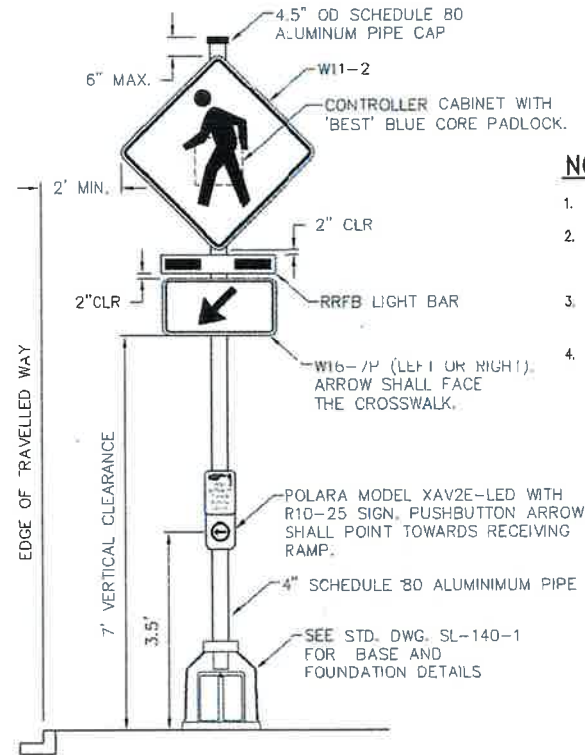


CROSSWALK MEDIAN DETAIL  
SCALE : 1" = 5'

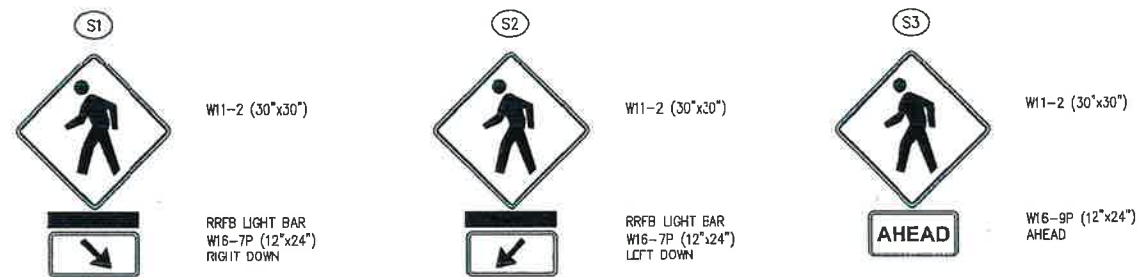
GENERAL SIGNAL NOTES

1. CALL UTILITIES UNDERGROUND LOCATION CENTER AT 1-800-424-5555 48 HOURS PRIOR TO CONSTRUCTION.
2. POLE LOCATIONS WILL BE STAKED IN THE FIELD BY THE ENGINEER PRIOR TO CONSTRUCTION.
3. THE LOCATIONS OF CONDUITS AND JUNCTION BOXES SHOWN IN THE PLANS ARE FOR GRAPHIC REPRESENTATION ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD.
4. ALL SPARE CONDUITS SHALL INCLUDE  $\frac{1}{2}$ " TONEABLE MULE TAPE.

| SIGN SCHEDULE |             |           |                         |                         |   |
|---------------|-------------|-----------|-------------------------|-------------------------|---|
| SIGN NUMBER   | DESIGNATION | SIGN SIZE | DESCRIPTION             | ACTION                  | REMARKS   |
| S1            | W11-2       | 30"x30"   | PEDESTRIAN              | TOP SIGN, SEE DETAIL    | SIGNS ARE BACK TO BACK ON NEW POLE  |
|               | W16-7P      | 24"x12"   | RIGHT DOWN ARROW PLAQUE | BOTTOM SIGN, SEE DETAIL |   |
| S2            | W11-2       | 30"x30"   | PEDESTRIAN              | TOP SIGN, SEE DETAIL    | SINGLE DIRECTION SIGNS ON NEW POLE  |
|               | W16-7P      | 24"x12"   | LEFT DOWN ARROW PLAQUE  | BOTTOM SIGN, SEE DETAIL |   |
| S3            | W11-2       | 30"x30"   | PEDESTRIAN              | TOP SIGN, SEE DETAIL    | INSTALL SIGNS ON NEW SQUARE METAL POST AS PER STD DWG SC-100-1, LOCATE APPROXIMATELY 200 FT FROM CROSSWALK, EXACT LOCATION TO BE FIELD MARKED BY ENGINEER |
|               | W16-9P      | 24"x12"   | AHEAD                   | BOTTOM SIGN, SEE DETAIL |   |



RECTANGULAR RAPID FLASHING BEACON AND CROSSWALK WARNING SIGNS  
SCALE : NTS



NOTES

1. ALL SIGNS PROVIDED BY THE CONTRACTOR SHALL BE STANDARD YELLOW BACKGROUND WITH BLACK LEGEND AND BORDER.
2. ALL SIGNS PROVIDED BY THE CONTRACTOR SHALL USE 3M DIAMOND GRADE DG3 REFLECTIVE SHEETING.
3. GAP BETWEEN TWO SIGNS MOUNTED ON SAME POST SHALL BE 1" EXCEPT FOR RRFB LOCATIONS.

CROSSWALK SIGNS  
SCALE : NTS

General Notes

FILE: E-6

19-04572.DWG  
19-04573.DWG

REV. 29 FIVE 25 ROW 5

DAS

TLJ

DAS

17012-0008

Seal

WALLEN A. SIMPSON  
REGISTERED PROFESSIONAL ENGINEER  
27856

Revisions

| Description | Date |
|-------------|------|
|             |      |
|             |      |
|             |      |

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MIRA II

10232 NE 10TH STREET  
BELLEVUE, WA

FOR CONSTRUCTION

CROSSWALK, MEDIAN,  
CHANNELIZATION &  
SIGNING PLAN

Scale

Date May 29, 2018

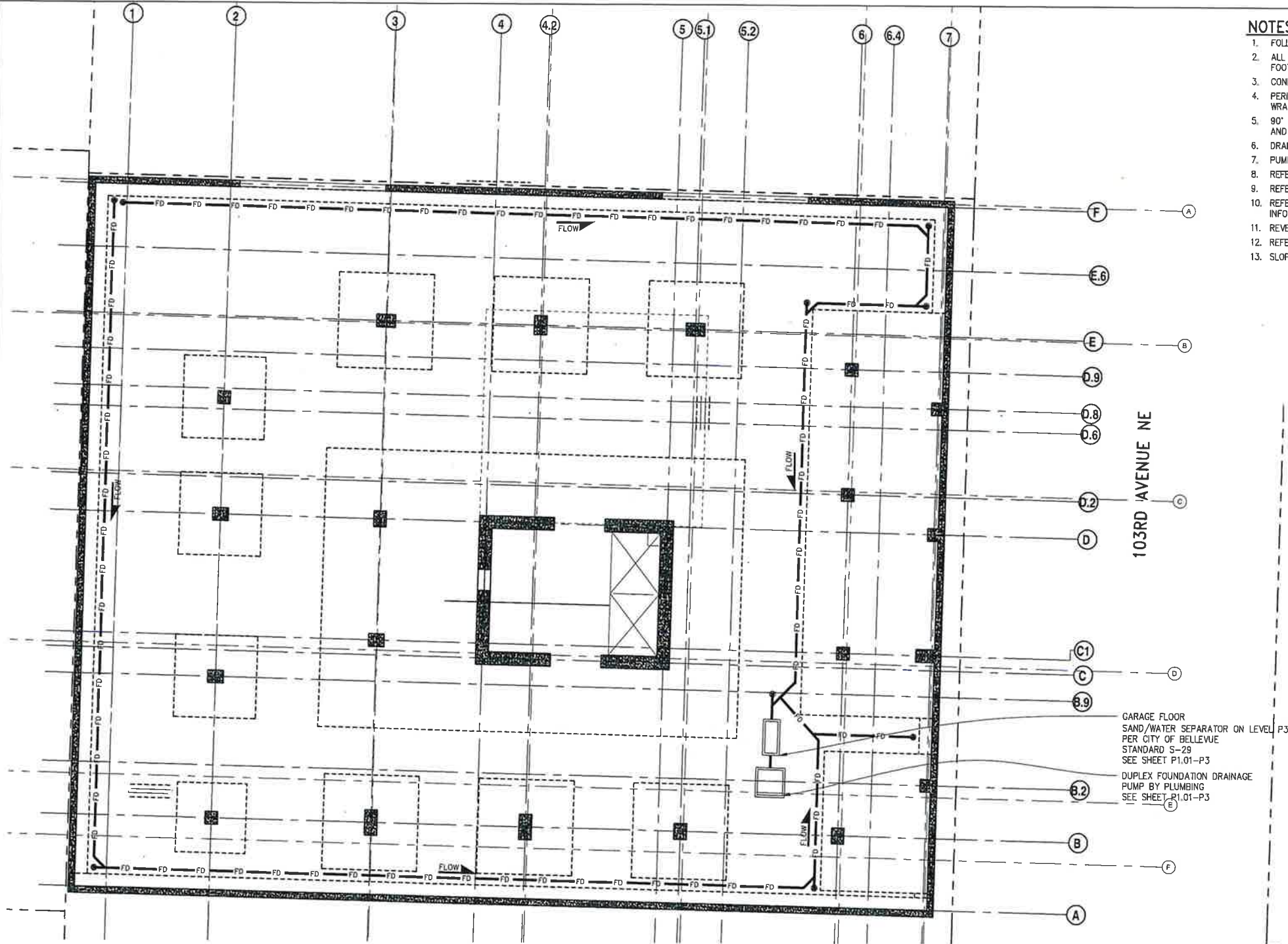
MZA Project Number 16-023\_mira

UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
(800)424-5555  
CALL TWO BUSINESS DAYS  
BEFORE YOU DIG

C403

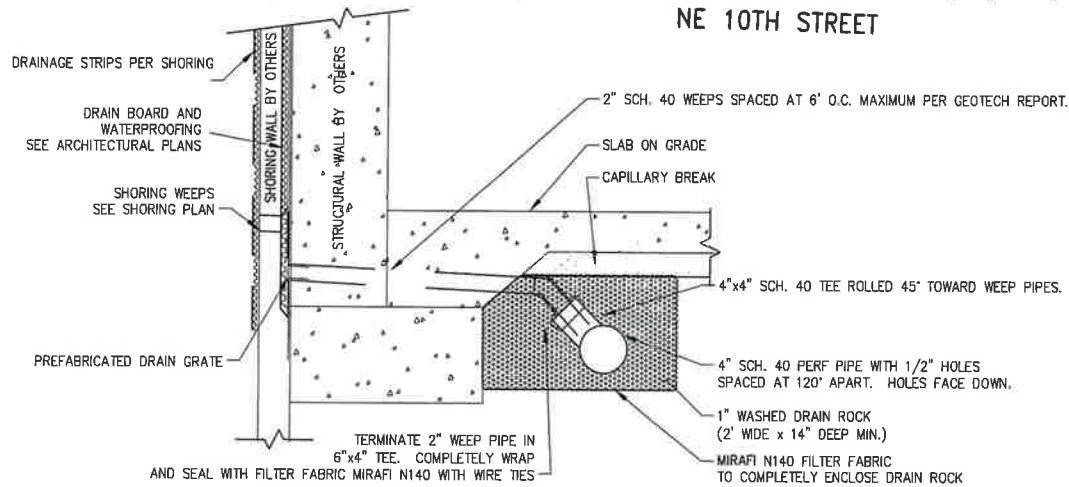
FOR PERMIT  
The undersigned hereby certifies that the undersigned has the authority to permit. The Contractor shall not use these drawings for construction and Contractor shall not use these drawings for construction without written approval for use in construction for the production being authorized and C&G Engineers.

Plot Date: 05 Apr 2019 - 4:48 pm 6/19/2019 File Location: O:\120-Start\DCI\2019\17012-0008-103rd-Township\17008-PLU\Under\31b.dwg



### NOTES

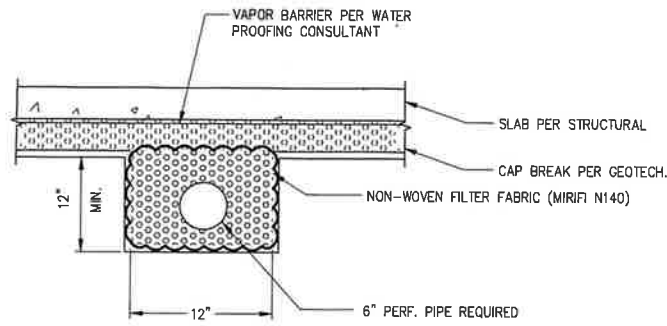
1. FOLLOW MANUFACTURERS INSTALLATION RECOMMENDATIONS FOR ALL WALL DRAINAGE APPLICATIONS.
2. ALL FOUNDATION DRAINAGE PIPING AND FITTINGS SHALL BE SCH. 40 RATED OR BETTER, FOR USE WITHIN BUILDING FOOTPRINT. MINIMUM SLOPE SHALL BE 0.25%.
3. CONNECTION TO THE PERIMETER DRAIN BOARD SHALL BE 2" PIPE AT 6' O.C. OR 4" PIPE AT 10' O.C.
4. PERIMETER WEEP DRAINS SHALL DRAIN DIRECTLY INTO A 4"x4" TEE. IF 2" CONNECTION SHALL BE COMPLETELY WRAPPED AND SEAMS SEALED WITH A NON-WOVEN GEOTEXTILE TO PREVENT DRAIN ROCK FROM ENTERING PERF PIPE.
5. 90° BEND SHALL BE ACCOMPLISHED WITH SCH. 40 PVC WYE FITTINGS. PROVIDE CLEAN OUTS AS SHOWN ON THIS PLAN AND AT MID POINTS OF RUNS OVER 100'.
6. DRAIN ROCK SHALL BE 1" WASHED ROCK, NON-WOVEN GEOTEXTILE MIRIFI N140.
7. PUMPED DISCHARGE IS DESIGNED BY PLUMBING, REFERENCE PLUMBING DRAWINGS.
8. REFERENCE ARCHITECTURAL FOR FINISHED SLAB ELEVATIONS, SLOPES, AND WATER PROOFING.
9. REFERENCE STRUCTURAL FOR FOUNDATION DETAILS.
10. REFERENCE GEOTECHNICAL REPORT FOR CAPILLARY BREAK, COMPACTION REQUIREMENTS, AND FOR ADDITIONAL SOILS INFORMATION NECESSARY FOR SUCCESSFUL SUBTERRANEAN CONSTRUCTION.
11. REFERENCE SHORING PLANS FOR DRAIN STRIP CONNECTION TO
12. REFERENCE WATERPROOFING DETAILS FOR ALL PENETRATIONS THROUGH THE SLAB ON GRADE AND GARAGE WALL.
13. SLOPE SUBGRADE AT MINIMUM 1% TOWARDS UNDERSLAB DRAIN PIPES.



PERIMETER DRAIN

SCALE : N.T.S.

1

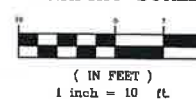


UNDERSLAB DRAIN

SCALE : N.T.S.

2

### GRAPHIC SCALE



UNDERGROUND SERVICE ALERT  
ONE-CALL NUMBER  
(800)424-5555  
CALL TWO BUSINESS DAYS  
BEFORE YOU DIG

General Notes  
UTILITY GRID # **E-6**  
18-104372 GD  
18-104373 UE  
SEC **29** TWP **25** RGE **5**

DAS  
PROJECT MANAGER  
KWO  
DRAWN BY  
DAS  
CHECKED BY  
17012-0008  
JOB NUMBER



| Revisions | Description | Date |
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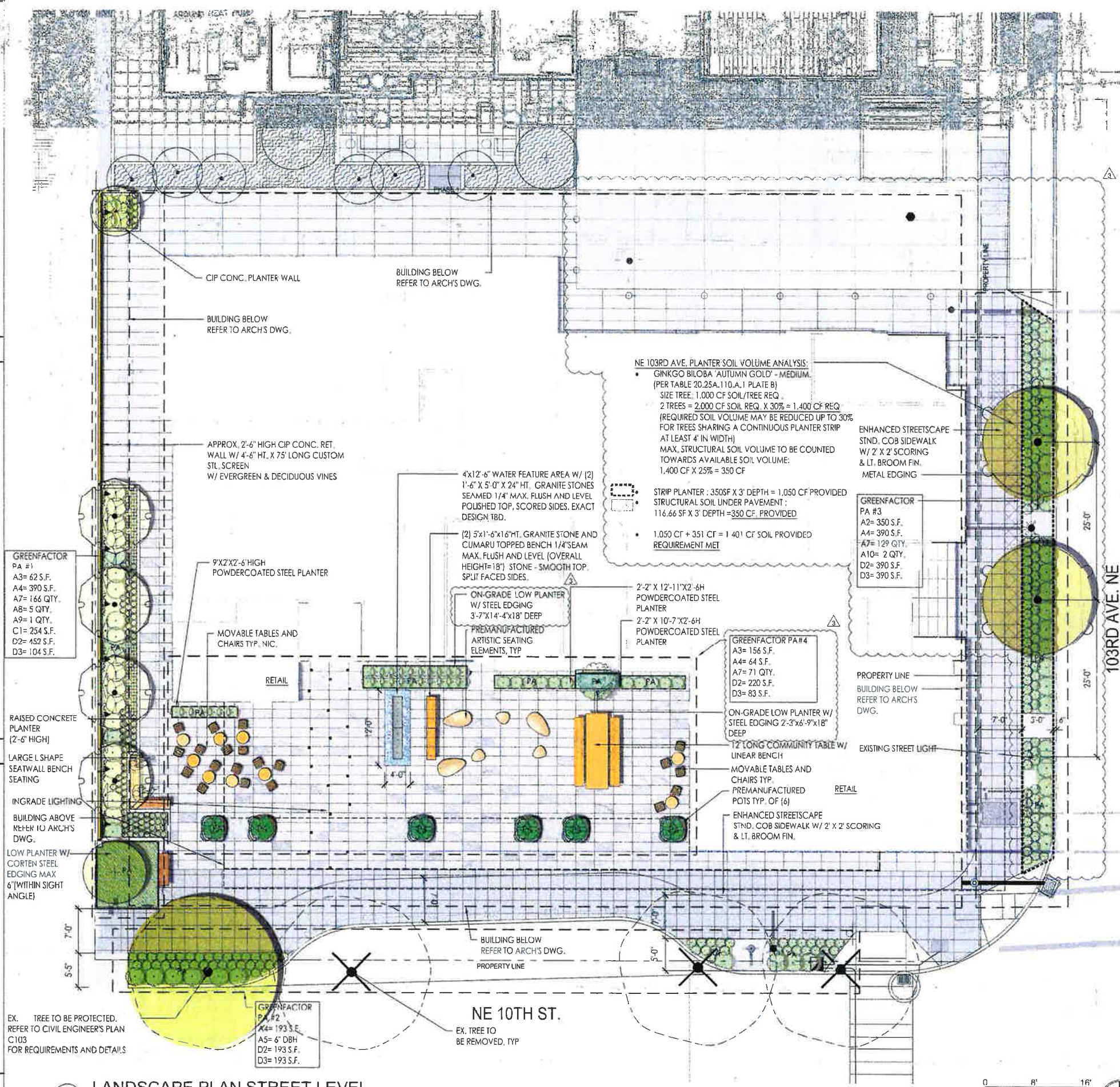
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MIRA II  
10232 NE 10TH STREET  
BELLEVUE, WA  
FOR CONSTRUCTION

### UNDERSLAB DRAINAGE PLAN

Scale  
Date FEBRUARY 7, 2019  
MZA Project Number 16-023\_mira

C600



- THE OUTDOOR PLAZA MUST COMPLY WITH CITY OF BELLEVUE'S DESIGN CRITERIA LISTED WITHIN "CHART LUC 20.25A.0070.D.4 AMENITY INCENTIVE SYSTEM" & LUC 20.25A.160E
- MIKA II'S OUTDOOR PLAZA HAS MET THE FOLLOWING DESIGN CRITERIA:
1. MIN. PLAZA AREA OF 3,000 SQ. FT. IS PROVIDED WHICH DOES NOT INCLUDE VEHICLE OR LOADING DRIVE SURFACES.
  2. MIN. SEATING OF ONE LINEAR FOOT PER 30 SQ. FT. OF PLAZA SPACE.
  3. MIN. 20% OF PLAZA AREA IS LANDSCAPED
  4. PLAZA AMENITIES SUCH AS MOVABLE TABLES AND CHAIRS, FIXED BENCHES, WATER FEATURE, GREEN VEGETATED SCREENS AND ARTISTIC SEATING ELEMENTS ARE PROVIDED AND THE ADA ACCESSIBLE PLAZA IS LOCATED WITHIN 30 INCHES OF ADJACENT SIDEWALK GRADE.
  5. MIN. 28'-0" HIGH CLEARANCE IS PROVIDED @ THE OUTDOOR PLAZA, WHICH BRINGS PLENTY OF SUN/LIGHTING THROUGHOUT THE YEAR AND VISIBILITY FROM STREET. SPECIAL LIGHTING ON GRADE AND ABOVE @ CEILING PROVIDES SENSE OF SECURITY DURING THE EVENING.
  6. ALL PLANTING SPECIFIED IS SUN/SHADE TOLERANT, SUITABLE TO THE COVERED OUTDOOR PLAZA ENVIRONMENT.

### MATERIALS & FINISHES

- GRANITE PAVERS  
18" X 36" MORTAR SET PAVERS  
MANUFACTURER: TBD  
COLOR/FINISH: TBD
- 5/16" CRUSHED AGGREGATE  
MANUFACTURERS MINERAL  
CO. PH: 425.228.2120
- CONCRETE PAVING  
W/ SCORE JOINTS  
18" X 36"
- HEAVILY TINED  
CONCRETE PAVING  
W/ EXPANSION JOINTS  
4'X10'
- CUSTOM SITE FURNISHINGS  
WATER FEATURE/POWDERCOATED STEEL PLANTER  
EXACT DESIGN TBD. SEE PLANS FOR MATERIAL DESCRIPTION & SIZE
- PREMANUFACTURED PLANTERS - STREET LEVEL  
CONCRETE PLANTER "LARKSPUR SERIES"  
MANUFACTURER: KORNGAY DESIGN  
SIZE: PER PLAN  
FINISH: TBD
- CUSTOM LINEAR BENCH  
SEATING FOR INDIVIDUAL/SMALL GROUP GATHERINGS
- GRANITE STONE AND CUMARU TOPPED BENCH  
STONE - SMOOTH TOP, SPLIT FACED SIDES.
- ARTISTIC SEATING ELEMENT  
A SCULPTURAL OBJECT USED FOR SMALL TO LARGE GROUP GATHERINGS
- PRODUCT: Q2 KERNEL MANUFACTURER: QCP  
SIZE: PER PLAN FINISH: TBD
- MOVABLE CAFE SEATING  
PROVIDES FLEXIBLE SEATING CONFIGURATIONS FOR SMALL GROUP GATHERINGS
- PRODUCT: BISTRO TABLE AND SEATING  
MANUFACTURER: FERMOB  
FINISH: TBD
- 12' LONG COMMUNITY TABLE WITH BENCH  
SEATING FOR LARGE GROUP GATHERINGS/PUBLIC
- PRODUCT: TBD
- SEATWALL BENCH SEATING  
SEMI-PRIVATE SEATING AREA FOR INDIVIDUALS OR SMALL GROUP GATHERINGS

CLIENT  
Shintex Global Investment Holdings LLC

325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

|    |                    |            |
|----|--------------------|------------|
| 3  | ADR RESUBMITTAL #3 | 04/23/2019 |
| 2  | ADR RESUBMITTAL #2 | 03/11/2019 |
| 1  | ADR RESUBMITTAL #1 | 02/15/2019 |
| NO | Description        | Date       |

REVISIONS

CONSULTANTS

ARCHITECT  
H P A

600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-359-7888

STRUCTURAL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

LANDSCAPE ARCHITECT  
GCR PLANNING & LANDSCAPE ARCHITECTURE 6101 22nd AVE. NW  
SEATTLE, WA 98107

DRAWING STATUS

ADR REV#3 SUBMISSION

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STAMP

NORTH ARROW

N

DRAWING TITLE

LANDSCAPE PLAN STREET LEVEL

|       |          |         |            |
|-------|----------|---------|------------|
| DRAWN | BJ, NH   | CHECKED | JC         |
| SCALE | AS NOTED | DATE    | 04/23/2019 |

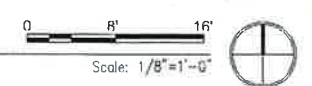
PROJECT NO.

DRAWING NO.

REVISION NO.

L1.0

1 LANDSCAPE PLAN STREET LEVEL



REFER TO SHEET L3.0 FOR FULL LIST OF LANDSCAPE PLANT SCHEDULE FOR OPEN PLAZA / STREET

30" x 30" - SHEET SIZE



DECORATIVE SEATING IE, "KERNEL"  
MANUFACTURER : QCP CONCRETE SOLUTIONS  
MODEL : KERNEL



5'-0" X 1'-6" X 1'-6" HT. STONE AND CUMARU TOPPED BENCH.  
STONE - HONED TOP, SIDE - MATCH WATER FEATURE, SMOOTH SURFACE



CAFE TABLES AND CHAIRS  
MANUFACTURER : FERMOB  
MODEL : BISTRO



PRECAST CONCRETE PLANTER: MANUFACTURER KORNEGAY DESIGN  
PRODUCT: LARKSPUR SERIES, COLOR:TBD



WATER FEATURE



PLAZA PAVERS - ABBOTSFORD ARISTOKRAT PORCELAIN PAVERS  
SIZE : MATCH INTERIOR ARCHITECT'S PAVING SIZE

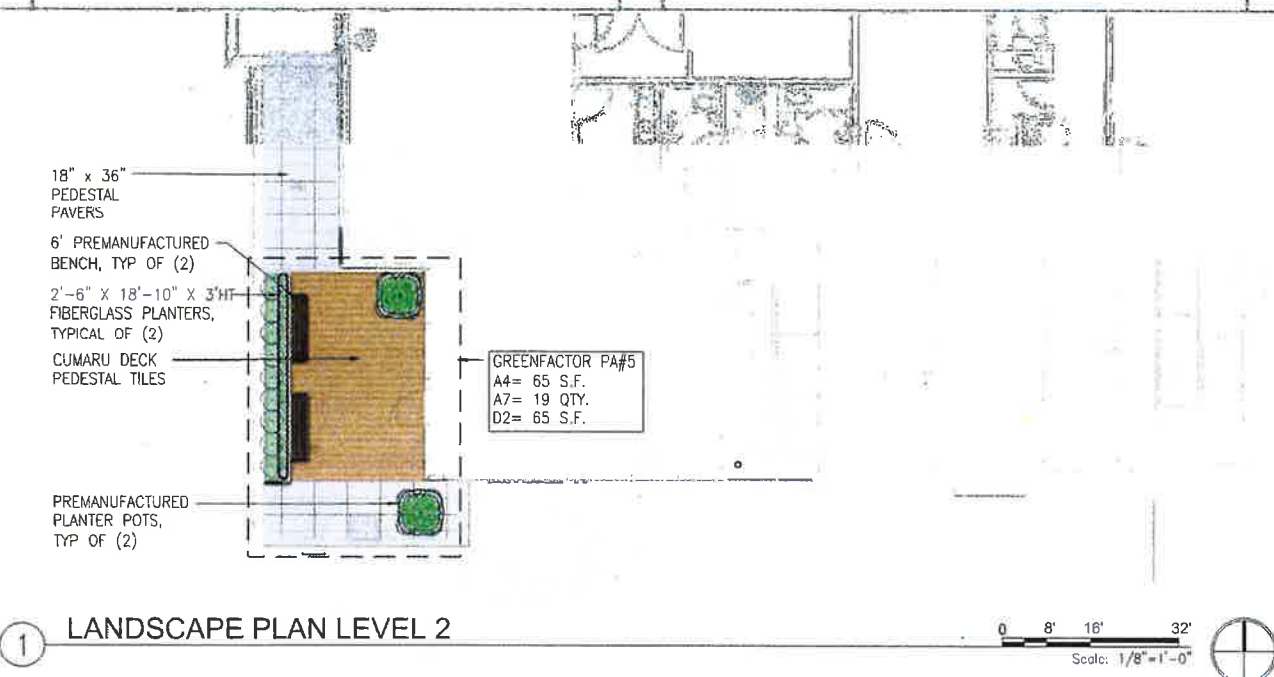


12' LONG COMMUNITY TABLE  
EXACT PRODUCT TBD

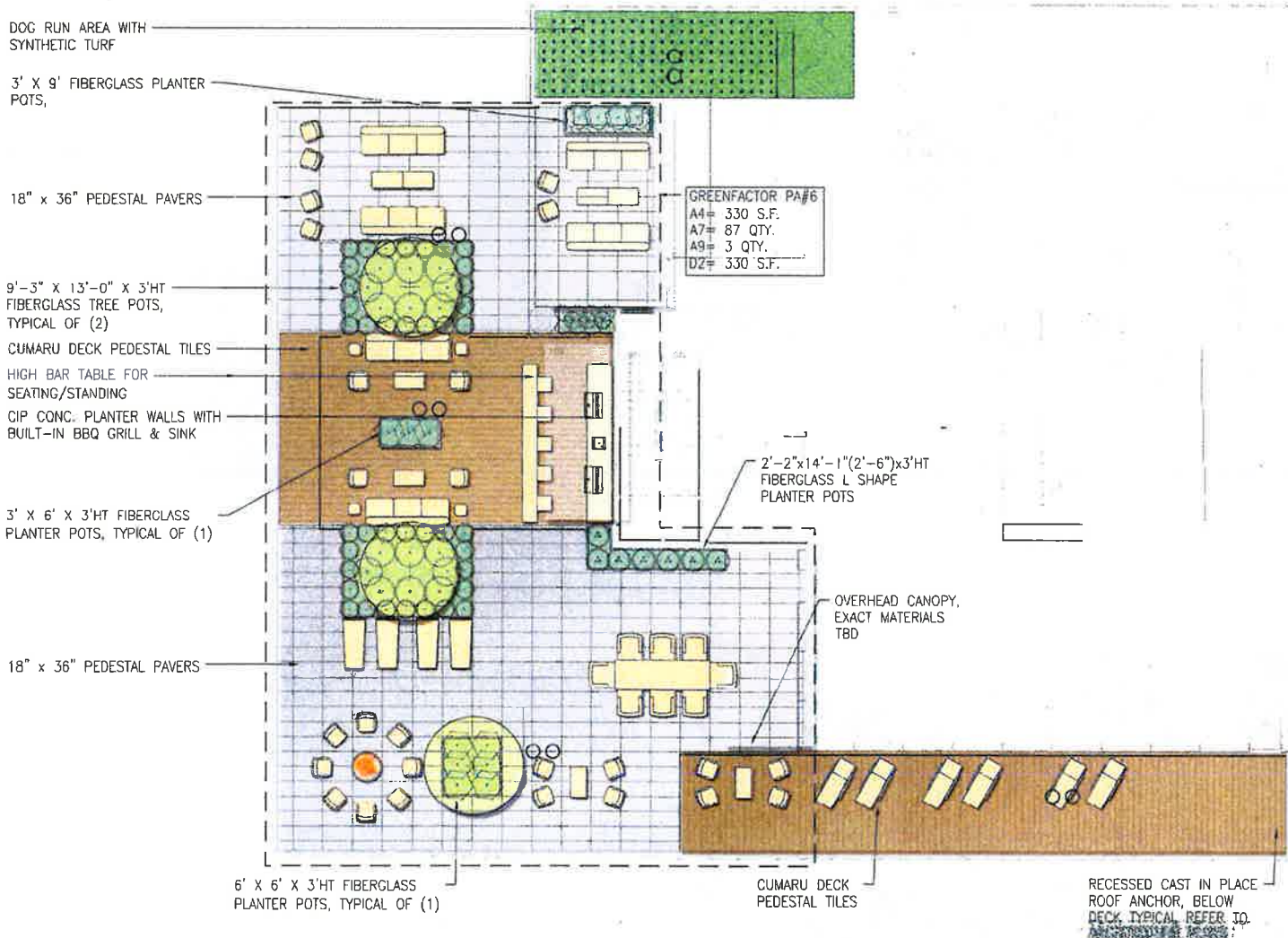


POWDER COATED STEEL PLANTER  
MANUFACTURER : TBD  
FINISH : TBD

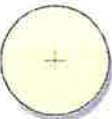










|   |                    |              |
|---|--------------------|--------------|
| PROJECT NAME  |                    |              |
| MIRA II   |                    |              |
| PROJECT ADDRESS   |                    |              |
| 10232 NE 10TH ST.<br>BELLEVUE, WA 98004   |                    |              |
| CLIENT  |                    |              |
| Shinlex Global Investment Holdings LLC 325 118th Ave. SE Suite 101<br>Bellevue, WA 98005  |                    |              |
| 3   | ADR RESUBMITTAL #3 | 04/23/2019   |
| 2   | ADR RESUBMITTAL #2 | 03/11/2019   |
| 1   | ADR RESUBMITTAL #1 | 02/15/2019   |
| NO.   | Description        | Date         |
| REVISIONS   |                    |              |
| CONSULTANTS   |                    |              |
| ARCHITECT   |                    |              |
| MZA 600 138th Ave. NE, Suite 100<br>Bellevue, WA 98004<br>T: 425-559-7898   |                    |              |
| STRUCTURAL ENGINEER   |                    |              |
| DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |                    |              |
| CIVIL ENGINEER  |                    |              |
| DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |                    |              |
| LANDSCAPE ARCHITECT   |                    |              |
| GCM PLANNING & LANDSCAPE ARCHITECTURE 6101 22nd AVE. NW<br>SEATTLE, WA 98107  |                    |              |
| DRAWING STATUS  |                    |              |
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| MZA   |                    |              |
| STAMP   |                    | NORTH ARROW  |
|   |                    | N            |
| DRAWING TITLE   |                    |              |
| LANDSCAPE MATERIALS   |                    |              |
| DRAWN   |                    | CHECKED      |
| BJ, NH  |                    | JC           |
| SCALE @ ARCH D  |                    | DATE         |
| AS NOTED  |                    | 04/23/2019   |
| GRAPHIC SCALE   |                    |              |
| PROJECT NO.   |                    |              |
| DRAWING NO.   |                    | REVISION NO. |
| L1.1  |                    |              |



- MATERIALS & FINISHES**
- PEDESTAL PAVERS  
18" X 36" PRECAST CONC. PAVERS ON PEDESTALS  
MANUFACTURER: STEPSTONE  
COLOR/FINISH: TBD
  - DECKING  
4" X 2" CUMARU PEDESTAL WOOD TILES - RIBBED  
MANUFACTURER: BISON
  - SITE FURNITURE  
BY OTHERS
  - PREMANUFACTURED BENCH  
72" X 16" HT. PALISADE BENCH  
MANUFACTURER: LANDSCAPE FORMS  
FINISH: EXTERIOR WOOD - CUMARU OR APPROVED OTHER
  - SYNTHETIC TURF  
PRODUCT: K9 GRASS CLASSIC W/ SPRAY IRRIGATION  
MANUFACTURER: FOREVER LAWN BELLEVUE  
SIZE: PER PLAN
  - BUILT-IN BBQ  
5' X 2' APPROX  
MANUFACTURER: TBD
  - PREMANUFACTURED PLANTERS - LEVEL 20  
FIBERGLASS PLANTERS  
HEIGHT 36" TYPICAL. SIZE VARIES SEE PLAN
  - GAS FIREPLACE  
SOLLUS 48" GAS FIRE PIT  
PRODUCT: HEMI WITH CONCRETE RING AND RIVER ROCK  
COLOR: CINDER
  - PREMANUFACTURED PLANTERS - LEVEL 2  
CONCRETE PLANTER "LAKSPUR SERIES"  
MANUFACTURER: KORNEGAY DESIGN  
SIZE: PER PLAN  
FINISH: TBD



PLANT SCHEDULE LEVEL 20

| TREES   | CODE | BOTANICAL NAME / COMMON NAME  | SIZE     | COND      | QTY      |     |
|---|------|---|----------|-----------|----------|-----|
|    | CF   | CORNUS FLORIDA / EASTERN DOGWOOD  | 2.5" CAL | B&B       | 3        |     |
| SHRUBS  | CODE | BOTANICAL NAME / COMMON NAME  | SIZE     | COND      | QTY      |     |
|    | CK2  | CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS         | 5 GAL    |           | 3        |     |
|  | IC   | ILEX CRENATA 'CONVEXA' * / CONVEX-LEAVED JAPANESE HOLLY                 | 2 GAL    | CONTAINER | 9        |     |
|  | LA   | LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER                               | 5 GAL    |           | 8        |     |
|  | PO   | PHORMIUM T. 'SUNDOWNER' / NEW ZEALAND FLAX                              | 2 GAL    |           | 2        |     |
|  | RH   | ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' / HUNTINGTON CARPET ROSEMARY | 5 GAL    |           | 48       |     |
|  | SH   | SARCOCOCCA HOOKERIANA HUMILIS / SWEET BOX                               | 5 GAL    |           | 9        |     |
|  | SR   | SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA                             | 5 GAL    |           | 4        |     |
|  | SD   | SHIBATAEA KUMASACA / DWARF BAMBOO                                       | 3 GAL    |           | 7        |     |
|  | VD   | VIBURNUM DAVIDII * / DAVID VIBURNUM                                     | 5 GAL    | CONTAINER | 16       |     |
| GROUNDCOVERS  | CODE | BOTANICAL NAME / COMMON NAME  | SIZE     | COND      | SPACING  | QTY |
|  | RR   | RUBUS PENTALOBUS / CREEPING TAWIAN BRAMBLE                              | 4" POT   |           | 18" o.c. | 14  |

PROJECT ADDRESS

10232 NE 10TH ST.  
BELLEVUE, WA 98004

CLIENT

Shintax Global Investment Holdings LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

REVISIONS

| NO. | Description        | Date       |
|-----|--------------------|------------|
| 3   | ADR RESUBMITTAL #3 | 04/23/2019 |
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| 1   | ADR RESUBMITTAL #1 | 02/15/2019 |

CONSULTANTS

ARCHITECT

MZA 600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7886

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

LANDSCAPE ARCHITECT

GCH PLANNING & LANDSCAPE ARCHITECTURE 6101 22nd AVE NW  
SEATTLE, WA 98107

DRAWING STATUS

ADR REV#3 SUBMISSION

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STAMP

NORTH ARROW

N

DRAWING TITLE

LANDSCAPE PLAN  
LEVEL 2 & LEVEL 20

DRAWN

BJ, NH

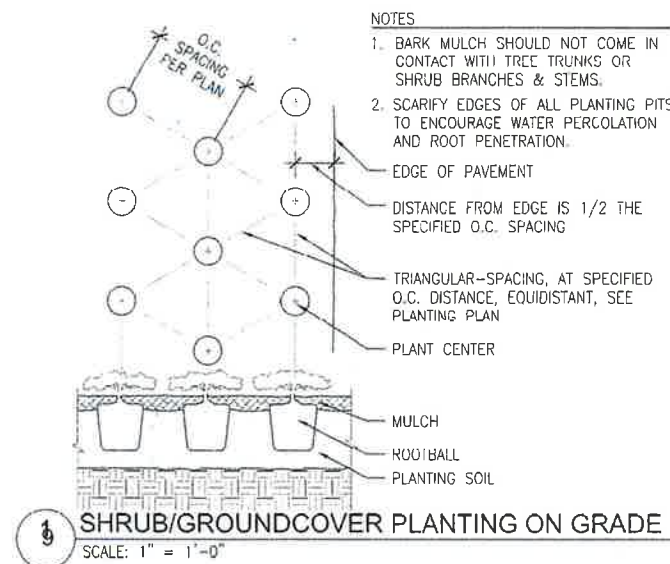
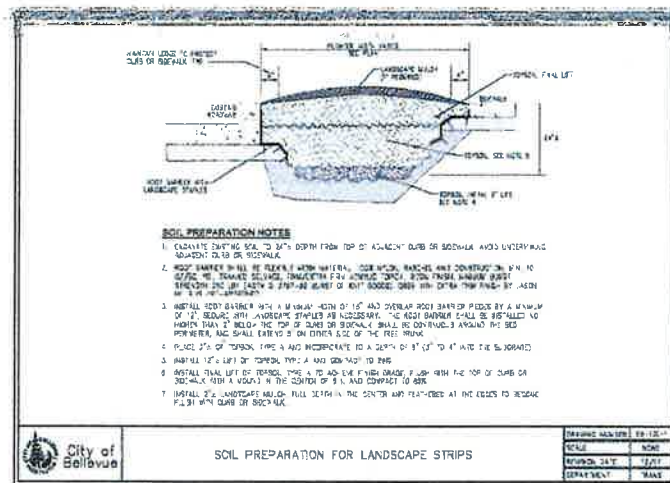
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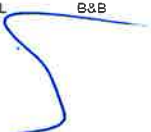













SCALE @ ARCH D

DATE

L1.2



## PLANT SCHEDULE STREET LEVEL

| TREES   | CODE | BOTANICAL NAME / COMMON NAME   | SIZE  | COND      | QTY      |     |
|---|------|--|---|-----------|----------|-----|
|    | AC   | ACER CIRCINATUM / VINE MAPLE   | 8-10' HT.,<br>MULTI TRUNK   | B&B       | 7        |     |
|    | AM   | ACER PALMATUM / MULTI-TRUNK JAPANESE MAPLE                                 | 8-10' HT.,<br>MULTI TRUNK   | B&B       | 4        |     |
|    | CF   | CORNUS FLORIDA / EASTERN DOGWOOD   | 2.5" CAL  | B&B       | 3        |     |
|    | GM   | GINKGO BILOBA 'AUTUMN GOLD' / MAGYAR GINKGO                                | 2" CAL  | B&B       | 2        |     |
|   |      |  |  |           |          |     |
| SHRUBS  | CODE | BOTANICAL NAME / COMMON NAME   | SIZE  | COND      | QTY      |     |
|    | ER2  | EPIMEDIUM X RUBRUM / RED BARRENWORT  | 1 GAL   |           | 45       |     |
|    | FA   | FARGESIA SPP. 'JIUZHAIYOU 1' /<br>RED-STEMMED CLUMPING BAMBOO              | 5 GAL   |           | 1        |     |
|    | LV   | LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LILY TURF                         | 5 GAL   |           | 165      |     |
|    | PT   | PACHYSANDRA TERMINALIS * / JAPANESE SPURGE                                 | 1 GAL   |           | 108      |     |
|  | PO   | PHORMIUM T. 'SUNDOWNER' / NEW ZEALAND FLAX                                 | 2 GAL   |           | 6        |     |
|  | PM   | POLYSTICHUM MUNITUM * / WESTERN SWORD FERN                                 | 5 GAL   | CONTAINER | 13       |     |
|  | RH   | ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' /<br>HUNTINGTON CARPET ROSEMARY | 5 GAL   |           | 24       |     |
|  | SH   | SARCOCOCCA HOOKERIANA HUMILIS / SWEET BOX                                  | 5 GAL   |           | 29       |     |
|  | SR   | SARCOCOCCA RUSCIFOLIA / FRAGRANT SARCOCOCCA                                | 5 GAL   |           | 6        |     |
|  | VD   | VIBURNUM DAVIDII * / DAVID VIBURNUM  | 5 GAL   | CONTAINER | 47       |     |
| VINE/ESPALIER   | CODE | BOTANICAL NAME / COMMON NAME   | SIZE  | COND      | QTY      |     |
|  | CX   | CLEMATIS X 'MRS. GEORGE JACKMAN' /<br>WHITE EARLY LARGE-FLOWERED CLEMATIS  | 5 GAL   |           | 6        |     |
|  | TJ2  | TRACHELOSPERMUM JASMINOIDES / CHINESE STAR JASMINE                         | 5 GAL   |           | 8        |     |
| GROUNDCOVERS  | CODE | BOTANICAL NAME / COMMON NAME   | SIZE  | COND      | SPACING  | QTY |
|  | VB   | VINCA MINOR 'BOWLES BLUE' / DWARF PERIWINKLE                               | SOD   |           | 12" o.c. | 104 |

## ONSITE PLANTING NOTES

1. ALL PLANTING MATERIALS INCLUDING SOIL, MULCH, AND FERTILIZER SHALL BE MATCHED TO THE PROJECT'S SPECIFICATIONS AND SHALL BE DELIVERED TO THE PROJECT SITE BY THE PROJECT'S DELIVERY DATE. ALL PLANTING MATERIALS SHALL BE DELIVERED TO THE PROJECT SITE BY THE PROJECT'S DELIVERY DATE. ALL PLANTING MATERIALS SHALL BE DELIVERED TO THE PROJECT SITE BY THE PROJECT'S DELIVERY DATE.
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## MIRA II

PROJECT ADDRESS

10232 NE 10TH ST.  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98003

| NO. | Description        | Date       |
|-----|--------------------|------------|
| 3   | ADR RESUBMITTAL #3 | 04/22/2019 |
| 2   | ADR RESUBMITTAL #2 | 03/11/2019 |
| 1   | ADR RESUBMITTAL #1 | 02/15/2019 |

REVISIONS

CONSULTANTS

ARCHITECT  
MZA  
600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7886

STRUCTURAL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

LANDSCAPE ARCHITECT  
GCH PLANNING & LANDSCAPE ARCHITECTURE 6101 22nd AVE. NW  
SEATTLE, WA 98107

DRAWING STATUS

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STAMP


NORTH ARROW



DRAWING TITLE

## PLANT SCHEDULE & PLANT DETAILS STREET LEVEL

L2.0



## GREEN AND SUSTAINABILITY FACTOR

### DT-SMALL SITES WORKSHEET (For sites under 40,000 ft<sup>2</sup>)

01/25/2018

Bellevue Land Use Code 20.25A.12J
MINIMUM REQUIRED SCORE **0.25**


**Project:** Mira II

Enter sq. ft. of project  
 limit  
**PROJECT LIMIT 17,051**

**SCORE 0.253**

Total Factor points needed based on Project Limit  
**4,263**

|  | Factor   | Total       |
|--|--|-------------|
| <b>A Landscape Elements</b>  |  |             |
| 1 Bioretention Facilities and/or Soil Cells. Bioretention facilities shall be calculated in horizontal square feet. Soil cell systems shall be calculated in cubic feet. The volume of the soil cell system shall be calculated using 3 feet of depth or the depth of the facility, whichever is less. Green roofs do not qualify as bioretention facilities.<br><small>(For more information on bioretention and soil cells, visit: <a href="#">http://www.belleuvewa.gov/2018/01/25/bioretention-and-soil-cells</a>)</small> | Enter sq. ft. or volume (if soil cells).<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto;"></div>       | 1.2 0.0     |
| 2 Structural Soil Systems. The volume of structural soil systems shall be calculated in cubic feet. The volume of the facility shall be calculated using 3 feet of depth or the depth of the facility, whichever is less.  | Enter volume.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">350</div>           | 0.2 70.0    |
| 3 Landscaped Areas with Soil Depth Less Than 24 Inches. Landscaped areas can include green roofs and green wall systems (C2).  | Enter sq. ft.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">218</div>           | 0.1 21.8    |
| 4 Landscaped Areas with Soil Depth of 24 Inches or More. Landscaped areas can include green roofs and green wall systems (C2).   | Enter sq. ft.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">1432</div>          | 0.6 859.2   |
| 5 Preservation of Existing Trees. Existing trees proposed for preservation shall be calculated at 20 sq. ft. per inch d.b.h. Trees must have a minimum diameter of 6 inches at d.b.h. Existing street trees proposed for preservation shall be approved by the Director.   | Enter inches d.b.h.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">6</div>       | 120 120.0   |
| 6 Preservation of Existing Evergreen Trees Bonus. Existing evergreen trees proposed for this bonus shall be calculated at 20 sq. ft. per inch c.b.h. and shall have a minimum diameter of 6 inches at d.b.h.   | Enter inches d.b.h.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">0</div>       | 0 0.0       |
| 7 Shrubs or Large Perennials. Shrubs or large perennials that are taller than 2 feet at maturity shall be calculated at 12 sq. ft. per plant.  | Enter number of shrubs.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">471</div> | 5652 2260.8 |
| 8 Small Trees. Small trees shall be calculated at 90 sq. ft. per tree. Consult the Green and Sustainability Factor Tree List for size classification of trees.   | Enter number of trees.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">5</div>    | 450 135.0   |
| 9 Medium Trees. Medium trees shall be calculated at 230 sq. ft. per tree. Consult the Green and Sustainability Factor Tree List for size classification of trees.  | Enter number of trees.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">4</div>    | 920 276.0   |
| 10 Large Trees. Large trees shall be calculated at 360 sq. ft. per tree. Consult the Green and Sustainability Factor Tree List for size classification of trees.   | Enter number of trees.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto; text-align: center;">2</div>    | 700 280.0   |
| <b>B Green Roofs</b>   |  |             |
| 1 Green Roof, two to four inches of Growth Medium. Roof area planted with at least 2 inches of growth medium, but less than 4 inches of growth medium.   | Enter sq. ft.<br><div style="border: 1px solid black; width: 100px; height: 30px; margin: 0 auto;"></div>                                  | 0.4 0.0     |



# GREEN AND SUSTAINABILITY FACTOR

## DT-SMALL SITES WORKSHEET

(For sites under 40,000 ft<sup>2</sup>)

4/23/2018

| Bellevue Land Use Code 20.25A.120  |  | MINIMUM REQUIRED SCORE | 0.25    |
|--|--|------------------------|---------|
| 2 Green Roof, At Least 4 Inches of Growth Medium. Roof area planted with at least 4 inches of growth medium.   | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto;"></div>   | 0.7                    | 0.0     |
| <b>C Green Walls</b>   |  |                        |         |
| 1 Vegetated Wall Façade or structural surface obscured by vines. Vine coverages shall be calculated with an estimate of 3 years' growth. A year-round irrigation and maintenance plan shall be provided.   | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto; text-align: center;">254</div>                          | 0.2                    | 50.8    |
| 2 Green Wall System. Façade or structural surface planted with a green wall system. A year-round irrigation and maintenance plan shall be provided.  | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto;"></div>   | 0.7                    | 0.0     |
| <b>D Landscape Bonuses</b>   |  |                        |         |
| 1 Food Cultivation. Landscaped areas for food cultivation.   | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto;"></div>   | 0.2                    | 0.0     |
| 2 Native or Drought-Tolerant Landscaping. Landscaped areas planted with native or drought-tolerant plants.   | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto; text-align: center;">1650</div>                         | 0.1                    | 165.0   |
| 3 Landscape Areas at Sidewalk Grade.   | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto; text-align: center;">770</div>                          | 0.1                    | 77.0    |
| 4 Rainwater Harvesting. Rainwater harvesting for landscape irrigation shall be calculated as a percentage of total water budget times total landscape area.  | Enter total projected gallons harvested.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto; text-align: center;">0</div> | 0                      | 0.0     |
| <p>If using Rainwater Harvesting, enter total annual irrigation budget for development (if not utilizing - enter '1' into field).</p> <div style="display: flex; justify-content: flex-end; align-items: center;"> <div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto; text-align: center;">1</div> </div> |  |                        |         |
| <b>E Permeable Paving</b>  |  |                        |         |
| 1 Permeable Paving, Over 6 to 24 Inches of Soil or Gravel. Permeable pavement: or pavers over at least 6 inches but not more than 24 inches of soil or gravel.   | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto;"></div>   | 0.2                    | 0.0     |
| 2 Permeable Paving, Over More than 24 Inches of Soil or Gravel. Permeable pavement: or pavers over more than 24 inches of soil or gravel.  | Enter sq. ft.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto;"></div>   | 0.5                    | 0.0     |
| <b>F Publicly Accessible Bicycle Parking</b>   |  |                        |         |
| 1 Bicycle Racks. Bicycle racks in publicly accessible locations shall be calculated at 5 sq. ft per bike locking space and shall be visible from sidewalk or public area.  | Enter total bike spaces.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto;"></div>                                      | 0                      | 1.0 0.0 |
| 2 Bicycle Lockers. Bicycle lockers in publicly accessible locations shall be calculated at 12 sq. ft per locker, and shall be visible from public areas and open for public use.   | Enter total bike lockers.<br><div style="border: 1px solid black; width: 80px; height: 25px; margin: 0 auto;"></div>                                     | 0                      | 1.0 0.0 |

|   |                    |   |
|---|--------------------|---|
| PROJECT NAME  |                    |   |
| MIRA II   |                    |   |
| PROJECT ADDRESS   |                    |   |
| 10232 NE 10TH ST.<br>BELLEVUE, WA 98004   |                    |   |
| CLIENT  |                    |   |
| Shintex Global Investment Holdings LLC  |                    |   |
| 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005  |                    |   |
|   |                    |   |
|   |                    |   |
| 3   | ADR RESUBMITTAL #3 | 04/23/2019  |
| 2   | ADR RESUBMITTAL #2 | 03/11/2019  |
| 1   | ADR RESUBMITTAL #1 | 02/15/2019  |
| N.O.  | Description        | Date  |
| REVISIONS   |                    |   |
| CONSULTANTS   |                    |   |
| ARCHITECT   |                    |   |
|  600 108th Ave. N.E. Suite 108<br>Bellevue, WA 98004<br>T. 425-559-7888  |                    |   |
| STRUCTURAL ENGINEER   |                    |   |
| DD ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101  |                    |   |
| CIVIL ENGINEER  |                    |   |
| DD ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101  |                    |   |
| LANDSCAPE ARCHITECT   |                    |   |
| GCH PLANNING & LANDSCAPE ARCHITECTURE 6101 22nd AVE. NW<br>SEATTLE, WA 98107  |                    |   |
| DRAWING STATUS  |                    |   |
| ADR REV#3 SUBMISSION  |                    |   |
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|    |                    |   |
| STAMP   |                    | NORTH ARROW   |
|   |                    |  |
| DRAWING TITLE   |                    |   |
| GREEN AND SUSTAINABILITY FACTOR WORKSHEET   |                    |   |
| DRAWN   |                    | CHECKED   |
| BJ, NH  |                    | JC  |
| SCALE @ ARCH D  |                    | DATE  |
| AS NOTED  |                    | 04/23/2019  |
| GRAPHIC SCALE   |                    |   |
| PROJECT NO.   |                    |   |
| DRAWING NO.   |                    | REVISION NO.  |
| L4.2  |                    |   |

| Mira II |                                     | Planting Area |     |     |     |    |     | TOTAL |
|---------|-------------------------------------|---------------|-----|-----|-----|----|-----|-------|
|         |                                     | 1             | 2   | 3   | 4   | 5  | 6   |       |
| A1      | sq ft<br>Average Plant Size (sq ft) |               |     |     |     |    |     | 0     |
| A2      | sq ft struct Soil<br>loss than 24"  |               |     | 350 |     |    |     | 350   |
| A3      | sq ft Soil Depth<br>loss than 24"   | 62            |     |     | 150 |    |     | 218   |
| A4      | sq ft Soil Depth<br>loss than 24"   | 100           | 100 | 300 | 50  | 25 | 300 | 1475  |
| A5      | # of d's h                          |               | 1   |     |     |    |     | 1     |
| A6      | # of d's h                          |               |     |     |     |    |     | 0     |
| A7      | # of Sprouts (L)                    | 66            |     | 120 | 71  | 19 | 97  | 472   |
| A8      | # of Trees (S)                      | 0             |     |     |     |    |     | 0     |
| A9      | # of Trees (M)                      | 1             |     |     |     |    | 3   | 4     |
| A10     | # of Trees (L)                      |               |     | 2   |     |    |     | 2     |
| D1      | square feet                         |               |     |     |     |    |     | 0     |
| D2      | square feet                         |               |     |     |     |    |     | 0     |

| Mira II |   | Planting Area |     |     |     |    |     | TOTAL |
|---------|---|---------------|-----|-----|-----|----|-----|-------|
|         |   | 1             | 2   | 3   | 4   | 5  | 6   |       |
| G1      | sq. ft. vegetable<br>wall                   | 254           |     |     |     |    |     | 254   |
| G2      | sq. ft. green wall<br>system<br>square foot |               |     |     |     |    |     | 0     |
| D1      | square feet<br>MakroDOT                     |               |     |     |     |    |     | 0     |
| D3      | sq. ft. subsoil<br>straw<br>gallons         | 452           | 133 | 300 | 222 | 66 | 330 | 1650  |
| D4      |   | 104           | 133 | 390 | 23  |    |     | 770   |
| D4      | sq. ft. subsoil                             |               |     |     |     |    |     | 0     |
| E1      | square feet                                 |               |     |     |     |    |     | 0     |
| E2      | # of roots                                  |               |     |     |     |    |     | 0     |
| F1      | # of bacteria                               |               |     |     |     |    |     |       |

\* See Green and Sustainability Factor score sheet for category definitions  
\*\* Enter totals on the Green Factor score sheet

NOTES:  
QUANTITY AND/OR SQ. FT. QUAIRED FOR EACH CATEGORY IS CALLED OUT IN SHEET L1.0 & L1.2 AND IDENTIFED PER  
EACH PLANTING AREA. (PLANTING AREA #1 THROUGH #6)

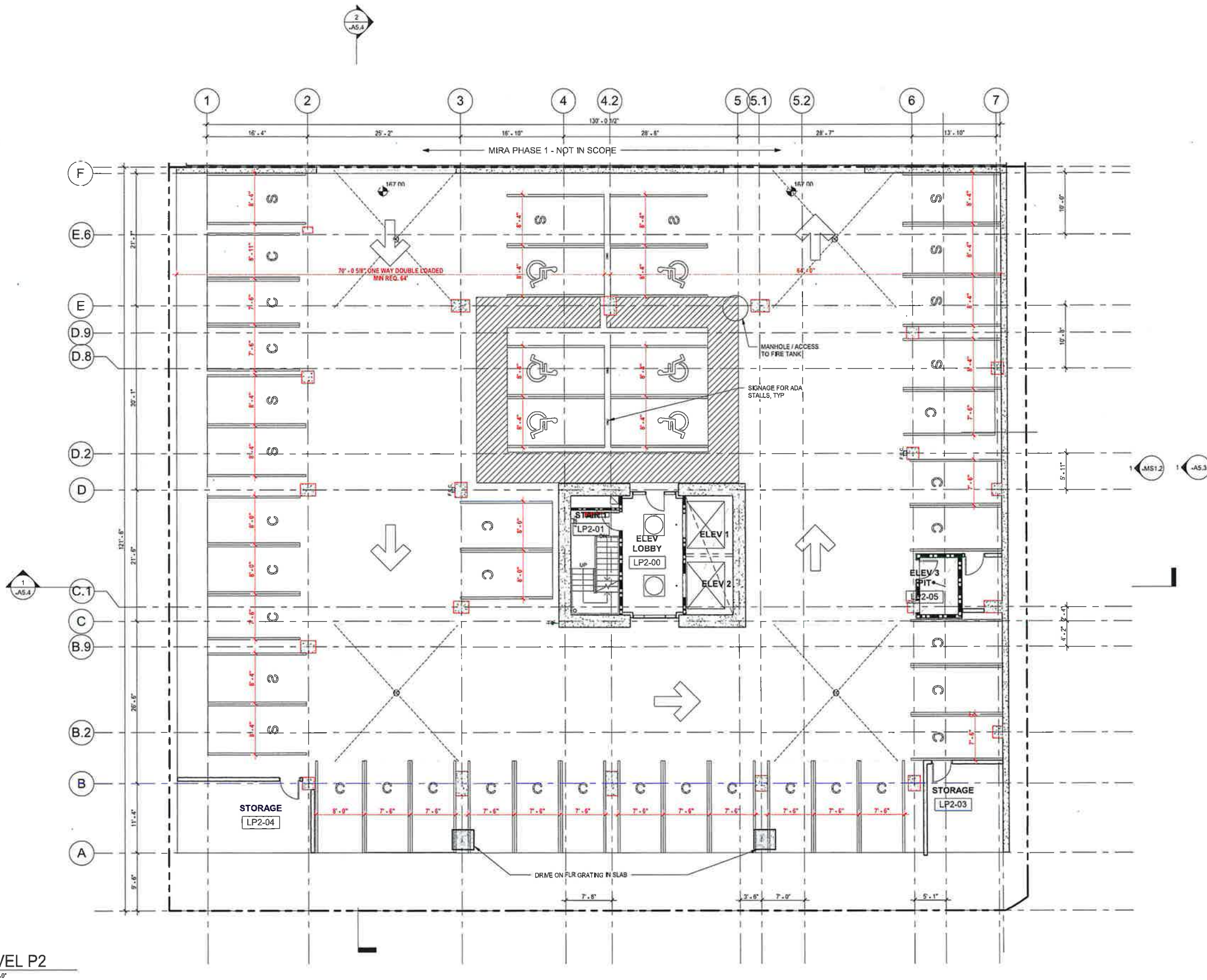
### EXAMPLE

GREENFACTOR  
PA #6  
A3= XXX S.F.  
A4= XXX S.F.  
A7= X QTY.  
A8= X QTY.  
D2= XXX S.F.  
D3= XXX S.F.

UNIT  
OF  
PLANTING  
AREA  
#

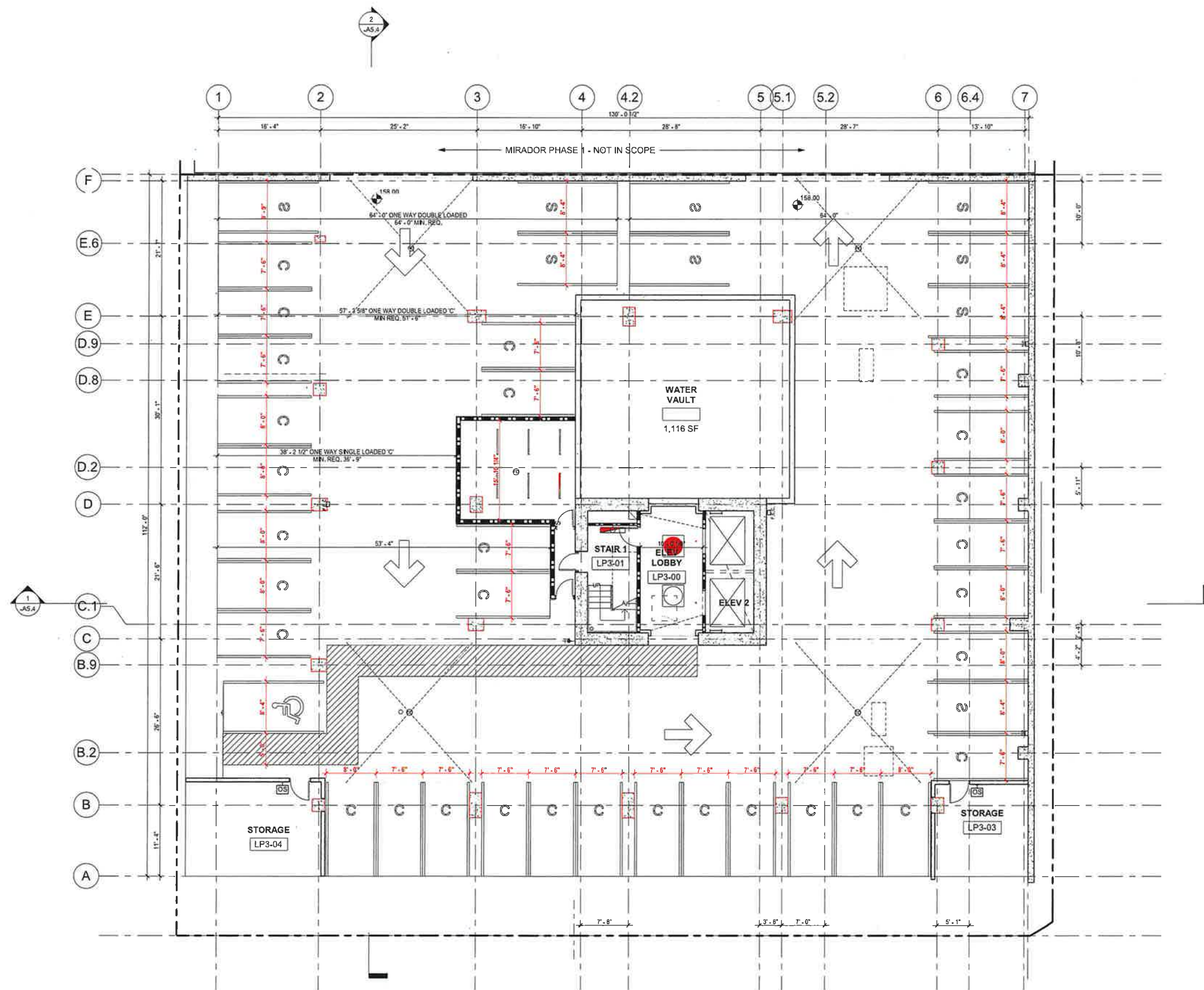


**-A2.0-P1**



1 LEVEL P2  
1/8" = 1'-0"

|   |  |
|---|--|
| PROJECT NAME  |  |
| MIRA II   |  |
| PROJECT ADDRESS   |  |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |  |
| CLIENT  | 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005                     |
| Shintex Global Investment Holdings, LLC   |  |
| NO. Description Date  |  |
| REVISIONS   |  |
| CONSULTANTS   |  |
| ARCHITECT   | 600 108th Ave. N.E. Suite 108<br>Bellevue, WA 98004<br>T: 425-535-7889 |
| STRUCTURAL ENGINEER   |  |
| DCI ENGINEERS 619 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |  |
| CIVIL ENGINEER  |  |
| DCI ENGINEERS 619 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |  |
| DRAWING STATUS  |  |
| ADR / MDP REV#3 SUBMISSION  |  |
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| MZA   |  |
| STAMP   | NORTH ARROW  |
|   | N  |
| DRAWING TITLE   |  |
| -LEVEL P2 PLAN  |  |
| DRAWN   | CHECKED  |
| SCALE @ ARCH E<br>1/8" = 1'-0"  | DATE<br>04/26/19   |
| PROJECT NO.   | 16-023   |
| DRAWING NO.   | REVISION NO.   |
| -A2.0-P2  |  |



PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment  
Holdings, LLC325 118th Ave. SE, Suite 101  
Bellevue, WA 98003

NO. Description

Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E. Suite 100  
Bellevue, WA 98004  
T. 425-558-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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STAMP

NORTH ARROW



DRAWING TITLE

-LEVEL P3 PLAN

DRAWN

CHECKED

SCALE @ ARCH E

1/8" = 1'-0"

DATE

04/26/19

PROJECT NO.




16-023

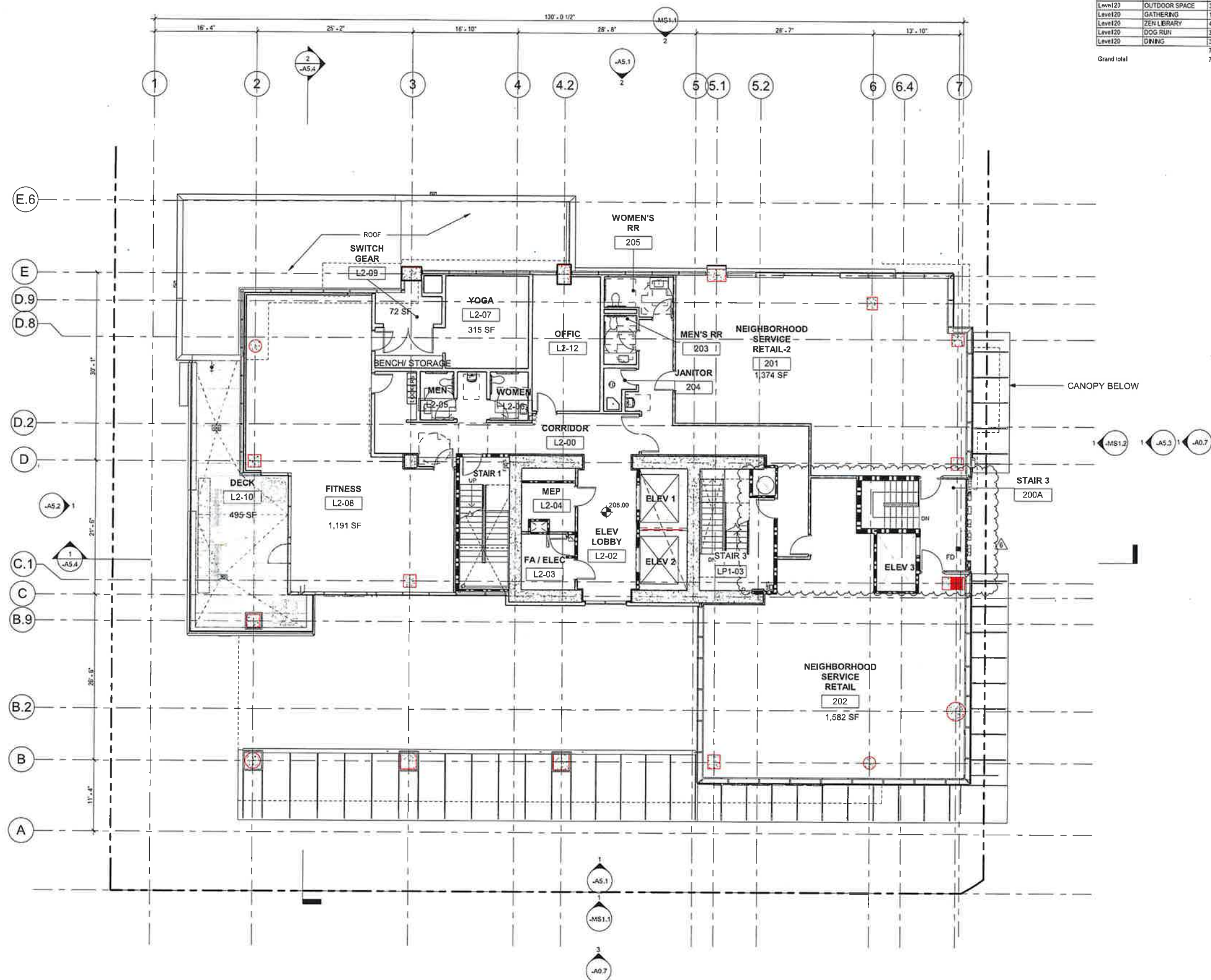
DRAWING NO.

-A2.0-P3

REVISION NO.



|   |                      |   |
|---|----------------------|---|
| PROJECT NAME  |                      |   |
| MIRA II   |                      |   |
| PROJECT ADDRESS   |                      |   |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |                      |   |
| CLIENT  |                      |   |
| Shinlex Global Investment Holdings, LLC   |                      | 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005                                    |
| 6   | ADR Rev#3 Submission | 04/26/19  |
| 4   | ADR Rev#2 Submission | 03/11/19  |
| NO.   | Description          | Date  |
| REVISIONS   |                      |   |
| CONSULTANTS   |                      |   |
| ARCHITECT   |                      |   |
|    |                      | 600 106th Ave. N.E., Suite 108<br>Bellevue, WA 98004<br>T: 425-559-7888               |
| STRUCTURAL ENGINEER   |                      |   |
| DCIENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101  |                      |   |
| CIVIL ENGINEER  |                      |   |
| DCIENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101  |                      |   |
| DRAWING STATUS  |                      |   |
| ADR / MDP REV#3 SUBMISSION  |                      |   |
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| STAMP   |                      | NORTH ARROW   |
|   |                      |  |
| DRAWING TITLE   |                      |   |
| -LEVEL 1 PLAN   |                      |   |
| DRAWN   |                      | CHECKED   |
| SCALE @ ARCH E<br>1/8" = 1'-0"  |                      | DATE<br>04/26/19  |
| PROJECT NO.<br>16-023   |                      |   |
| DRAWING NO.<br>-A2.1  |                      | REVISION NO.  |



| 16-023 Residential Amenity Area Schedule |               |         |                   |
|--|---------------|---------|-------------------|
| Level                                    | Name          | Area    | Total Res. Area % |
| Level 2                                  | FITNESS       | 1,191.1 | 1.1               |
| Level 2                                  | OUTDOOR SPACE | 495.0   | 0.4               |
| Level 2                                  | YOGA          | 315.3   | 0.2               |
| Level 20                                 | OUTDOOR SPACE | 3,260.9 | 2.9               |
| Level 20                                 | GATHERING     | 1,379.3 | 1.2               |
| Level 20                                 | ZEN LIBRARY   | 405.1   | 0.4               |
| Level 20                                 | DOG RUN       | 363.9   | 0.3               |
| Level 20                                 | DRIVING       | 396.4   | 0.4               |
| Grand total                              |               | 7,798.1 | 6.9               |

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment Holdings, LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

6 ADR Rev#3 Submission 04/26/19

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA 600 108th Ave. N.E., Suite 108  
Bellevue, WA 98004  
T: 425-359-7888STRUCTURAL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101CIVIL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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STAMP

NORTH ARROW



DRAWING TITLE

-LEVEL 2 PLAN

DRAWN

CHECKED

SCALE @ ARCH E

1/8" = 1'-0"

DATE

04/26/19

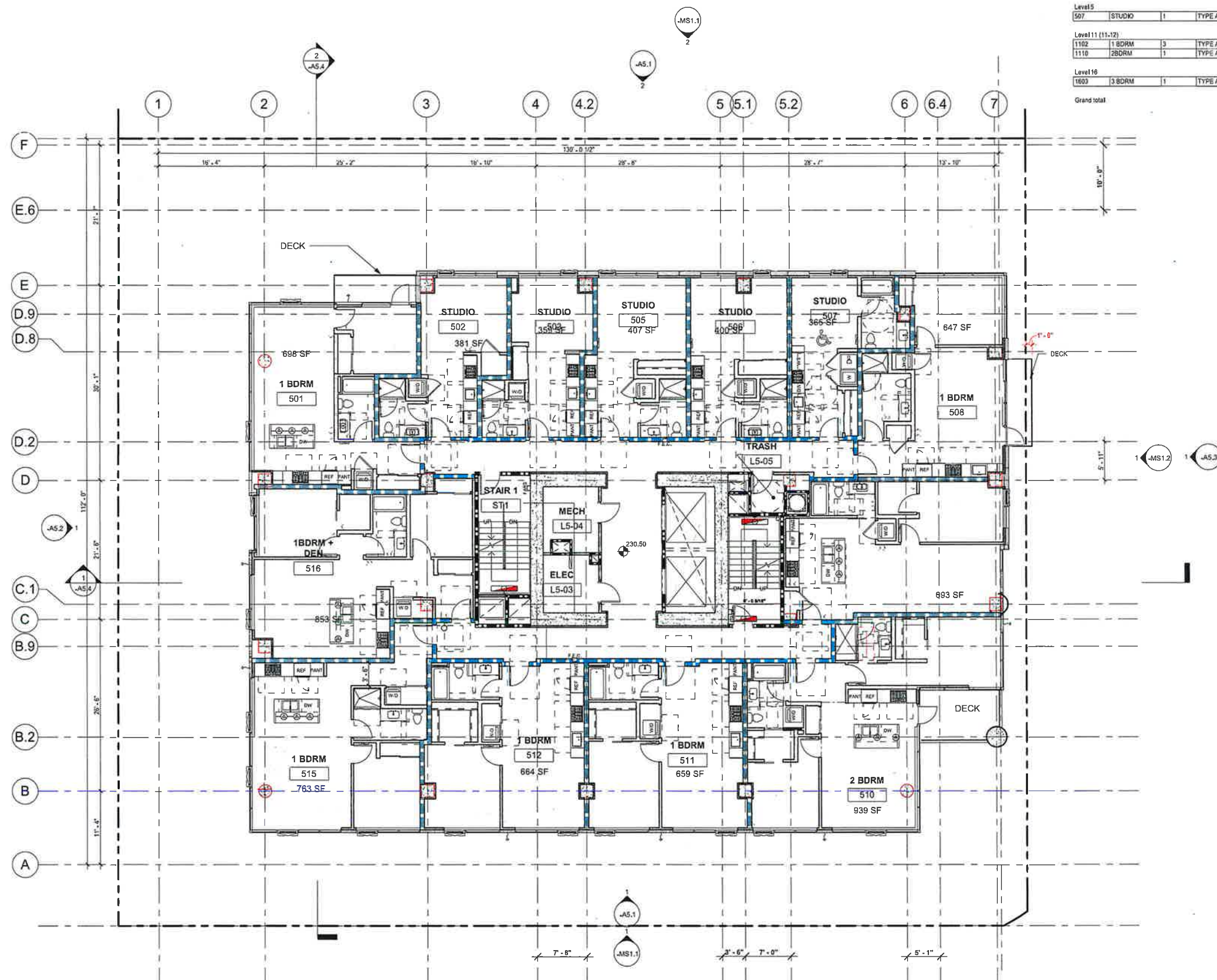
PROJECT NO.

16-023

DRAWING NO.

-A2.2

REVISION NO.



| 16-023 TYPE A UNIT SCHEDULE |        |          |          |                    |               |
|-----------------------------|--------|----------|----------|--------------------|---------------|
| Number                      | Name   | Floor(s) | Comments | Count Total Floors | % Total Units |
| Level 3                     |        |          |          |                    |               |
| 307                         | STUDIO | 1        | TYPE A   | 1                  | 1             |
| 315                         | 1 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 2                  | 1             |
| Level 5                     |        |          |          |                    |               |
| 507                         | STUDIO | 1        | TYPE A   | 1                  | 1             |
| Level 11 (11-12)            |        |          |          |                    |               |
| 1102                        | 1 BDRM | 3        | TYPE A   | 3                  | 2             |
| 1110                        | 2 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 4                  | 3             |
| Level 16                    |        |          |          |                    |               |
| 1603                        | 3 BDRM | 1        | TYPE A   | 1                  | 1             |
| Grand total                 |        |          |          | 8                  | 5             |

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment  
Holdings, LLC325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

500 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7889

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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STAMP

NORTH ARROW



DRAWING TITLE

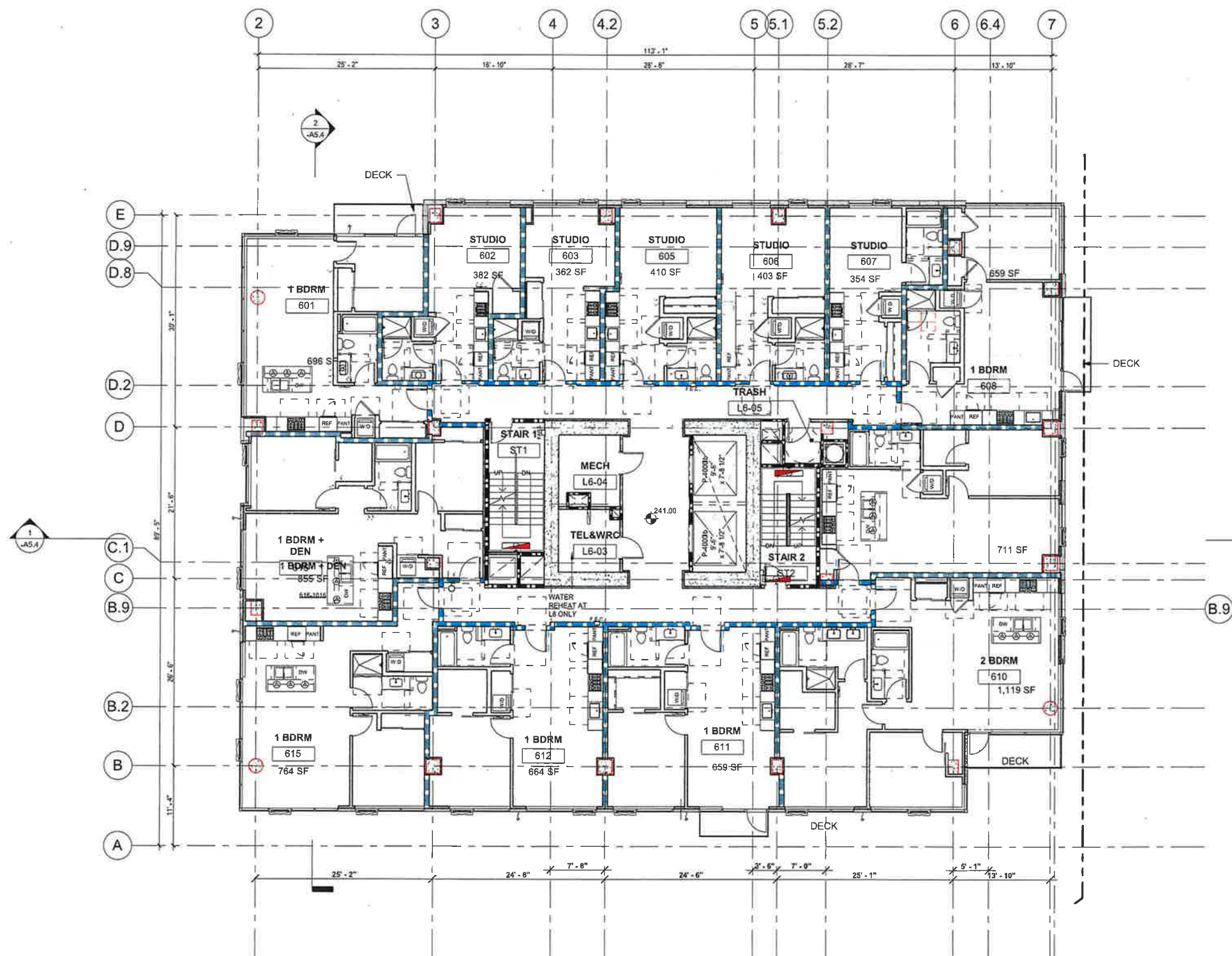
-LEVEL 3, 5 PLAN

DRAWN CHECKED

SCALE @ ARCH E  
1/8" = 1'-0"DATE  
04/26/19PROJECT NO.  
16-023

DRAWING NO. REVISION NO.

-A2.3



PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment Holdings, LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA 600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7888STRUCTURAL ENGINEER  
DCI ENGINEERS 878 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101CIVIL ENGINEER  
DCI ENGINEERS 878 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

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STAMP

NORTH ARROW



DRAWING TITLE

-LEVEL 6-10 PLAN

DRAWN

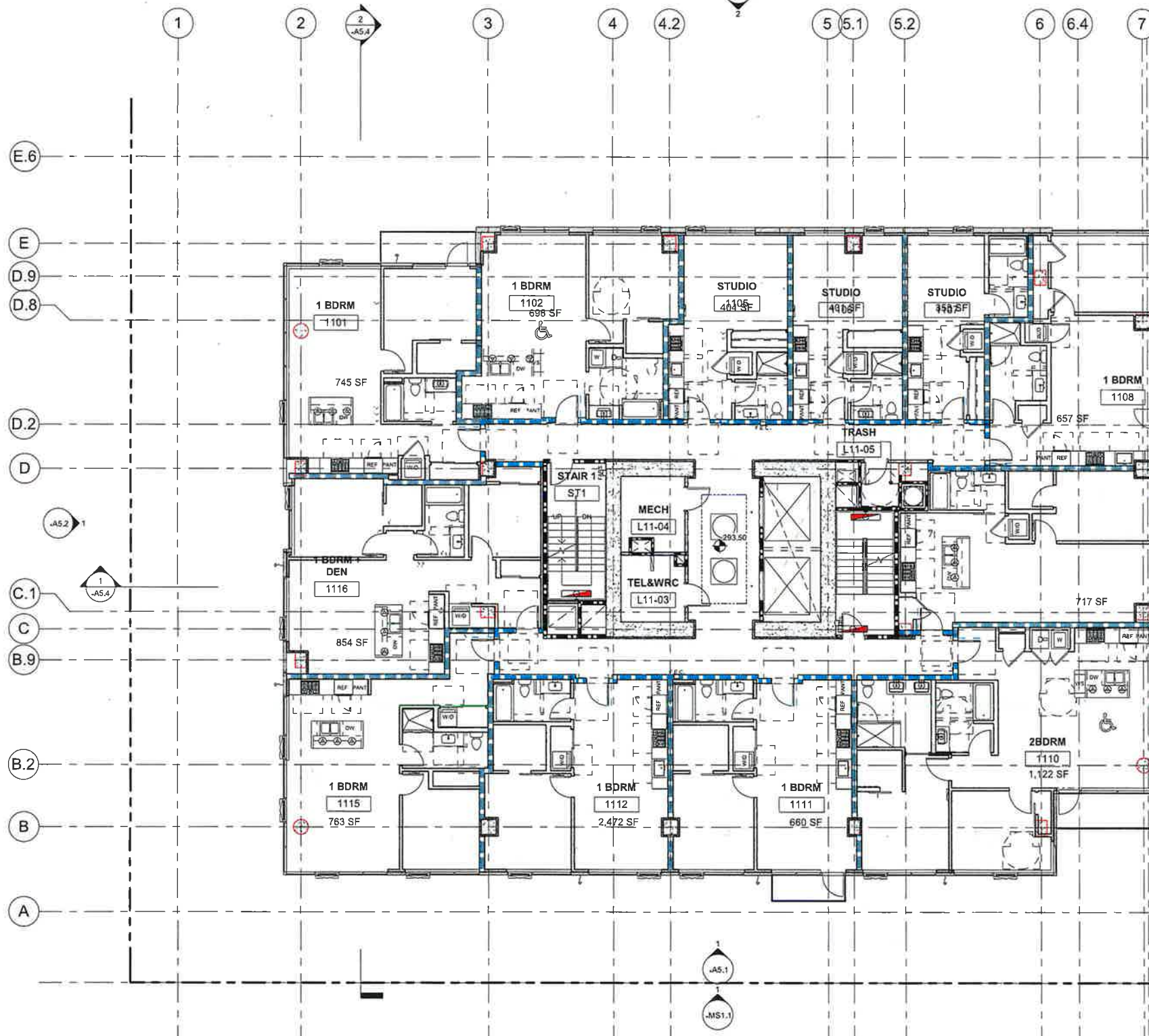
CHECKED

SCALE @ ARCH E  
1/8" = 1'-0"DATE  
04/26/19PROJECT NO.  
16-023

DRAWING NO.

-A2.4

REVISION NO.



| 16-023 TYPE A UNIT SCHEDULE |        |          |          |                    |               |
|-----------------------------|--------|----------|----------|--------------------|---------------|
| Number                      | Name   | Floor(s) | Comments | Count Total Floors | % Total Units |
| Level 13                    |        |          |          |                    |               |
| 307                         | STUDIO | 1        | TYPE A   | 1                  | 1             |
| 315                         | 1 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 2                  | 1             |
| Level 15                    |        |          |          |                    |               |
| 507                         | STUDIO | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 1                  | 1             |
| Level 11 (11-12)            |        |          |          |                    |               |
| 1102                        | 1 BDRM | 3        | TYPE A   | 3                  | 2             |
| 1110                        | 2 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 4                  | 3             |
| Level 16                    |        |          |          |                    |               |
| 1603                        | 3 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 1                  | 1             |
| Grand total                 |        |          |          | 8                  | 5             |

1 Level 11 Floor Plan  
1/8" = 1'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC

325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

NO. 1 Description

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-538-7888

STRUCTURAL ENGINEER

DCI ENGINEERS

818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS

818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

ADR / MDP REV#3 SUBMISSION

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MZA

ARCHITECT

STAMP

NORTH ARROW

N

DRAWING TITLE

-LEVEL 11-12,15 PLAN

DRAWN

CHECKED

SCALE @ ARCH E

1/8" = 1'-0"

DATE

04/26/19

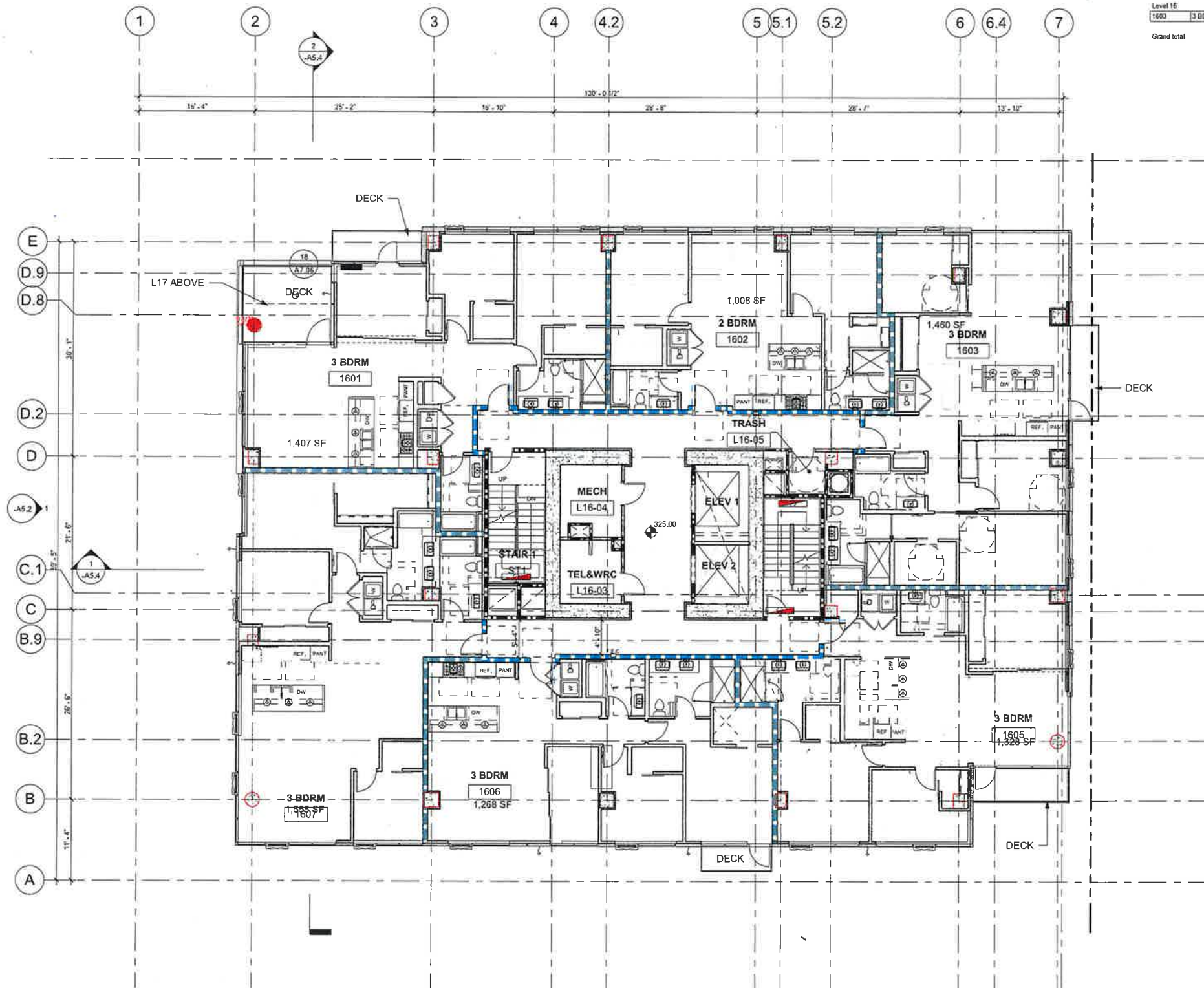
PROJECT NO.

16-023

DRAWING NO.

-A2.5

REVISION NO.



| 16-023 TYPE A UNIT SCHEDULE |        |          |          |                    |               |
|-----------------------------|--------|----------|----------|--------------------|---------------|
| Number                      | Name   | Floor(s) | Comments | Count Total Floors | % Total Units |
| Level 13                    |        |          |          |                    |               |
| 307                         | STUDIO | 1        | TYPE A   | 1                  | 1             |
| 315                         | 1 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 2                  | 1             |
| Level 15                    |        |          |          |                    |               |
| 507                         | STUDIO | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 1                  | 1             |
| Level 11 (11-12)            |        |          |          |                    |               |
| 1102                        | 1 BDRM | 3        | TYPE A   | 3                  | 2             |
| 1110                        | 2 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 4                  | 3             |
| Level 16                    |        |          |          |                    |               |
| 1603                        | 3 BDRM | 1        | TYPE A   | 1                  | 1             |
|                             |        |          |          | 1                  | 1             |
| Grand total                 |        |          |          | 8                  | 5             |

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC  
325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

2 MDP Rev#2 Submission 09/07/18

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T: 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

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NORTH ARROW



DRAWING TITLE

-LEVEL 16 PLAN

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SCALE @ ARCH E

1/8" = 1'-0"

DATE

04/26/19

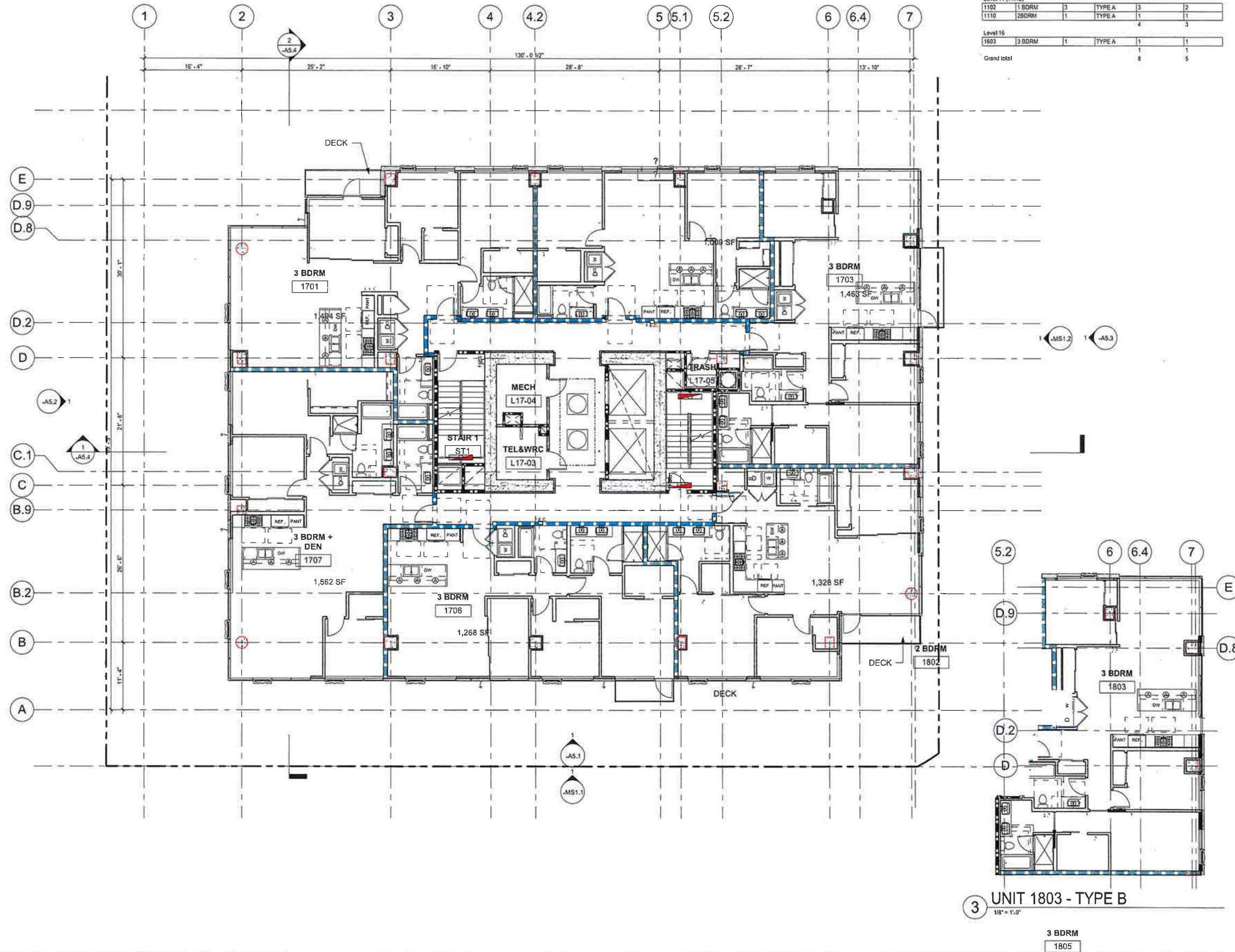
PROJECT NO.

16-023

DRAWING NO.

-A2.6

REVISION NO.



PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment  
Holdings, LLC325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

2 MDP Rev#2 Submission 09/07/18

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E. Suite 108  
Bellevue, WA 98004  
1-425-555-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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DRAWING TITLE

-LEVEL 17-18 PLAN

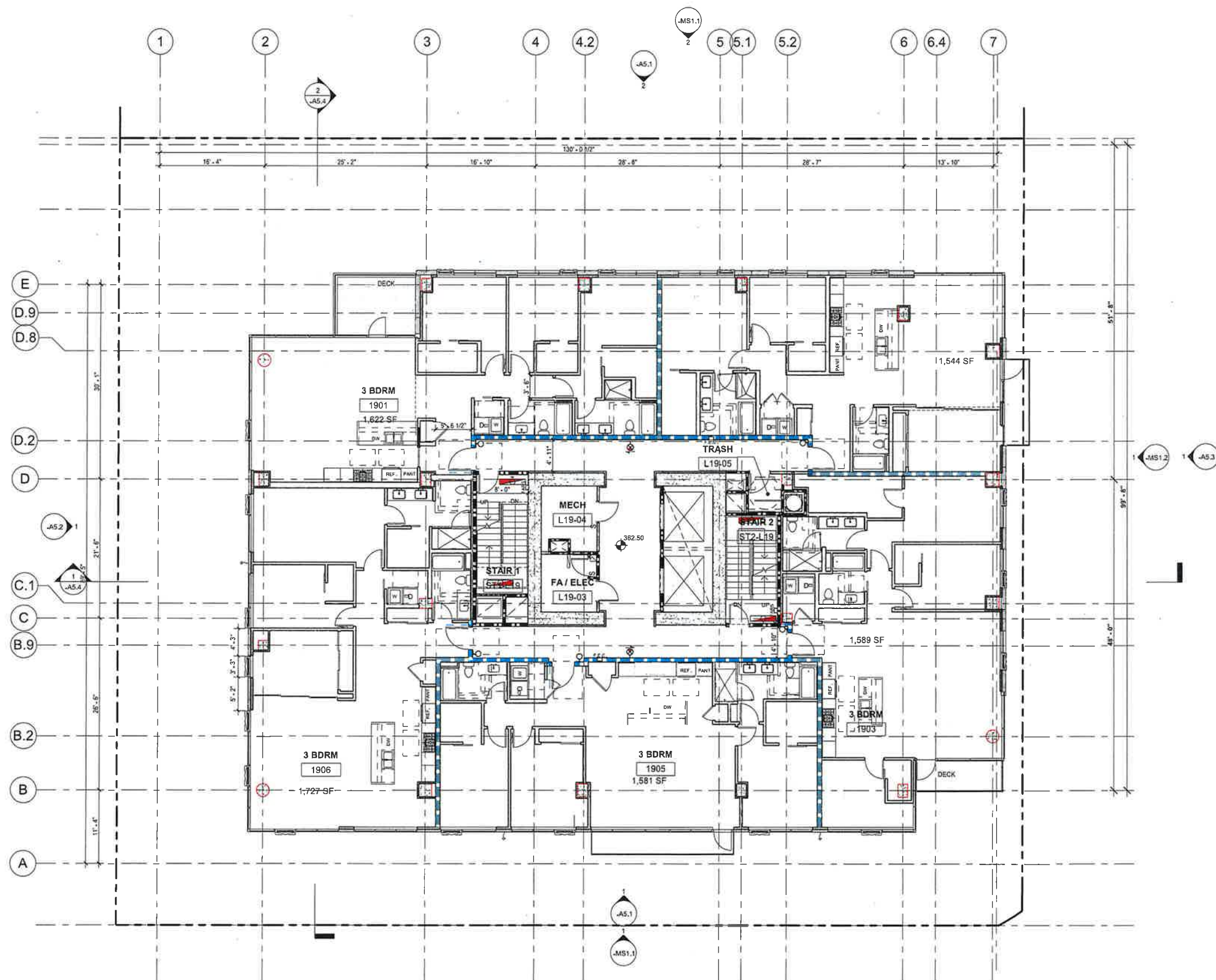
DRAWN Author CHECKED Checker

SCALE @ ARCH E 1/8" = 1'-0" DATE 04/26/19

PROJECT NO. 16-023

DRAWING NO. REVISION NO.

-A2.7



PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC 325 118th Ave, SE, Suite 101  
Bellevue, WA 98005

2 MDP Rev#2 Submission 05/07/18

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave, N.E., Suite 108  
Bellevue, WA 98004  
T: 425-555-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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-LEVEL 19 PLAN

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1/8" = 1'-0"DATE  
04/26/19PROJECT NO.  
16-023

DRAWING NO.

-A2.8

REVISION NO.

| 16-023 Residential Amenty Area Schedule |               |         |                   |
|---|---------------|---------|-------------------|
| Level                                   | Name          | Area    | Total Res. Area % |
| Level 2                                 | FITNESS       | 1,191.1 | 1.1               |
| Level 2                                 | OUTDOOR SPACE | 495.0   | 0.4               |
| Level 2                                 | YOGA          | 315.3   | 0.3               |
| Level 20                                | OUTDOOR SPACE | 3,260.9 | 2.9               |
| Level 20                                | GATHERING     | 1,370.3 | 1.2               |
| Level 20                                | ZEN LIBRARY   | 405.1   | 0.4               |
| Level 20                                | DOG RUN       | 363.9   | 0.3               |
| Level 20                                | DINING        | 399.4   | 0.4               |
| Grand Total                             |               | 7,798.1 | 6.9               |

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment  
Holdings, LLC325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

|     |                      |          |
|-----|----------------------|----------|
| 3   | ADR Rev#1 Submission | 11/21/18 |
| 2   | MDP Rev#2 Submission | 09/07/18 |
| NO. | Description          | Date     |

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E., Suite 108  
Bellevue, WA 98004  
T: 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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-LEVEL 20 ROOF

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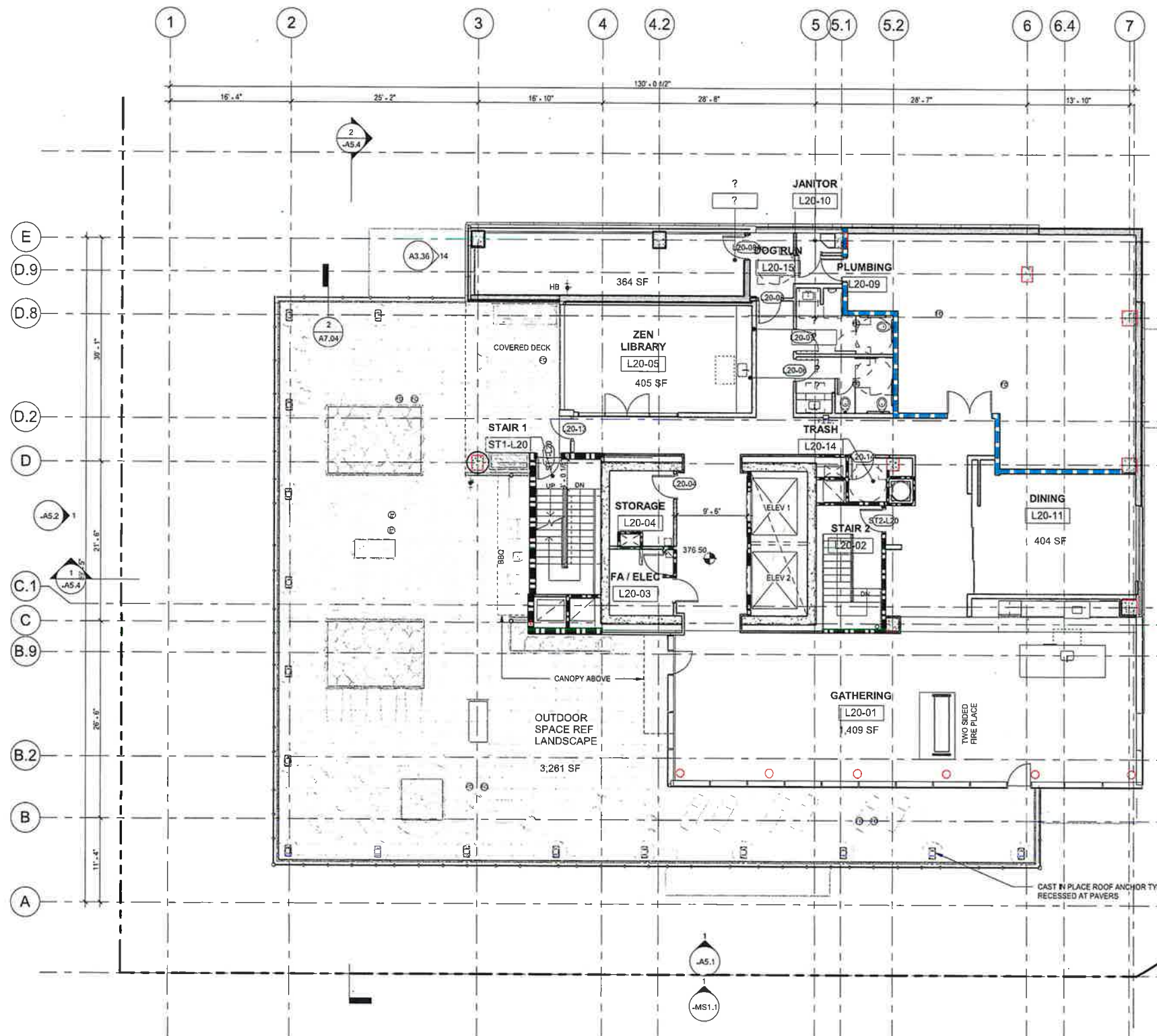
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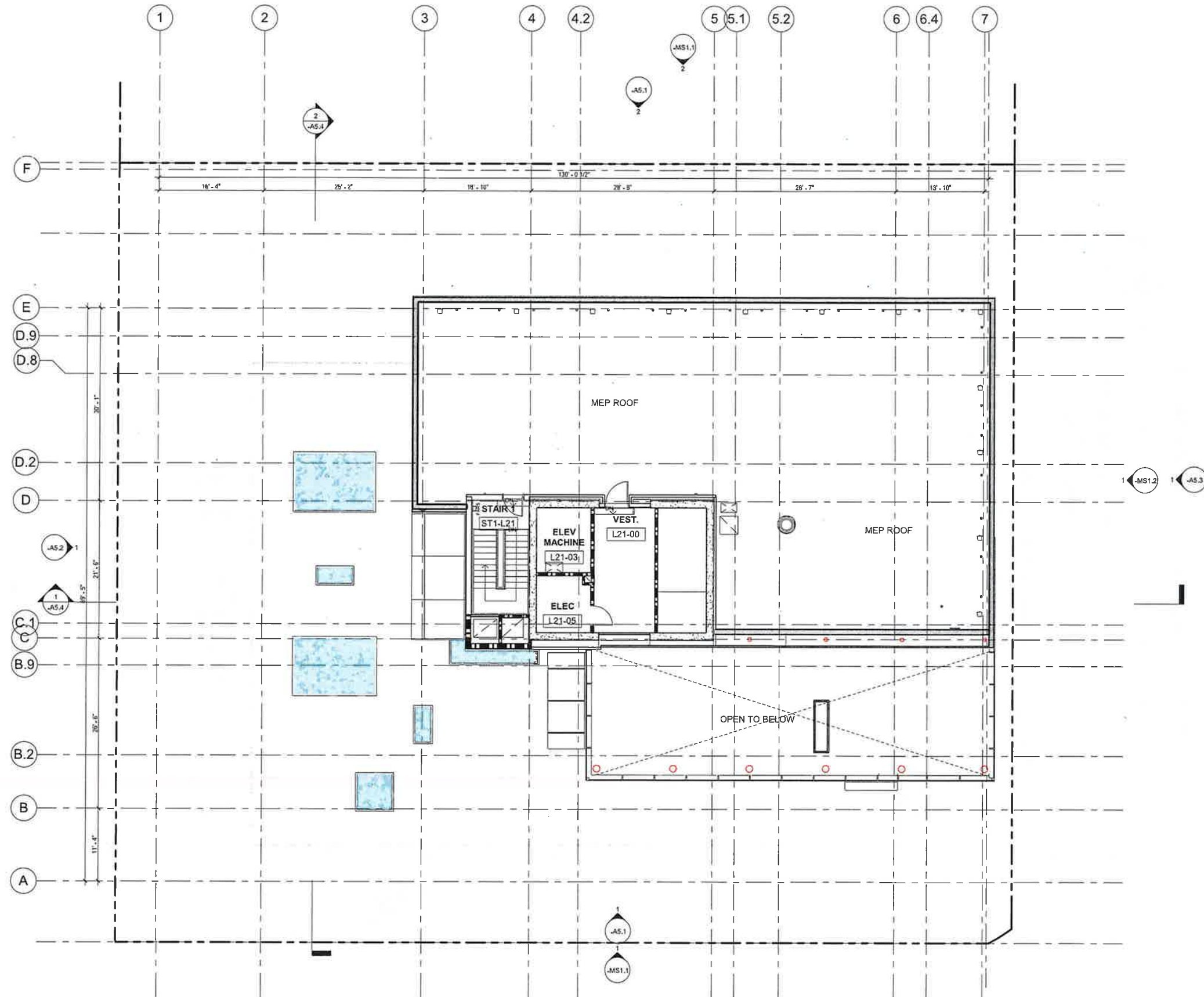
SCALE @ ARCH E  
1/8" = 1'-0"DATE  
04/26/19PROJECT NO.  
16-023

DRAWING NO.

REVISION NO.

-A2.9





PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment  
Holdings, LLC325 118th Ave, SE, Suite 101  
Bellevue, WA 98005

NO.

Description

Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave, N.E., Suite 108  
Bellevue, WA 98004  
T: 425-553-7886

STRUCTURAL ENGINEER

DCE ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCE ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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DRAWING TITLE

-LEVEL 21 MECH ROOF

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SCALE @ ARCH E

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DATE

04/26/19

PROJECT NO.

16-023

DRAWING NO.

-A2.10

REVISION NO.

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment Holdings, LLC

325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

REVISIONS

| NO. | Description          | Date     |
|-----|----------------------|----------|
| 4   | ADR Rev#2 Submission | 03/11/19 |
| 2   | MDP Rev#2 Submission | 05/07/18 |

CONSULTANTS

ARCHITECT

MZA

600 102nd Ave. N.E. Suite 108  
Bellevue, WA 98004  
T 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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NORTH ARROW

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DRAWING TITLE

-ELEVATIONS

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SCALE @ ARCH E

1/16" = 1'-0"

DATE

04/26/19

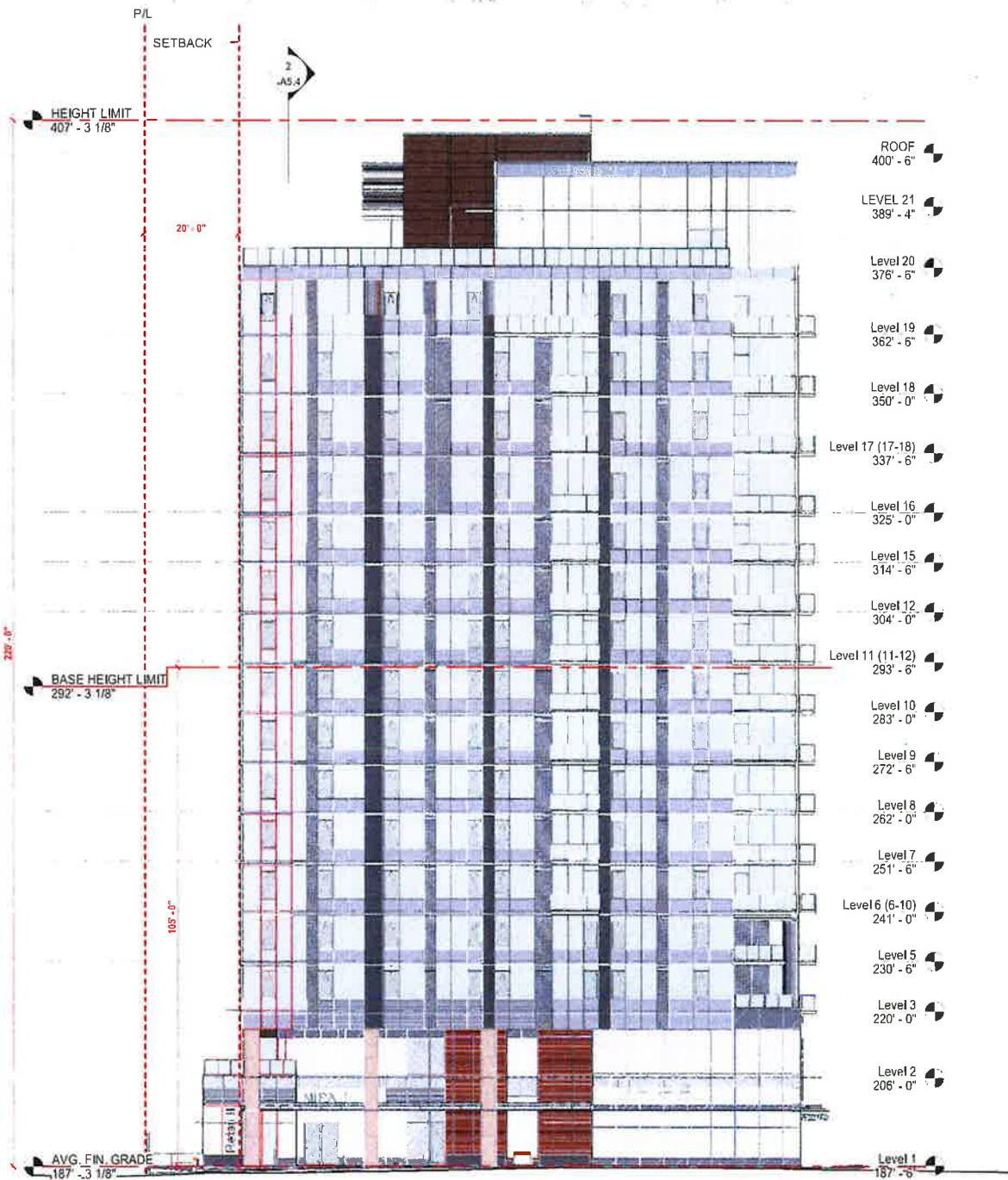
PROJECT NO.

16-023

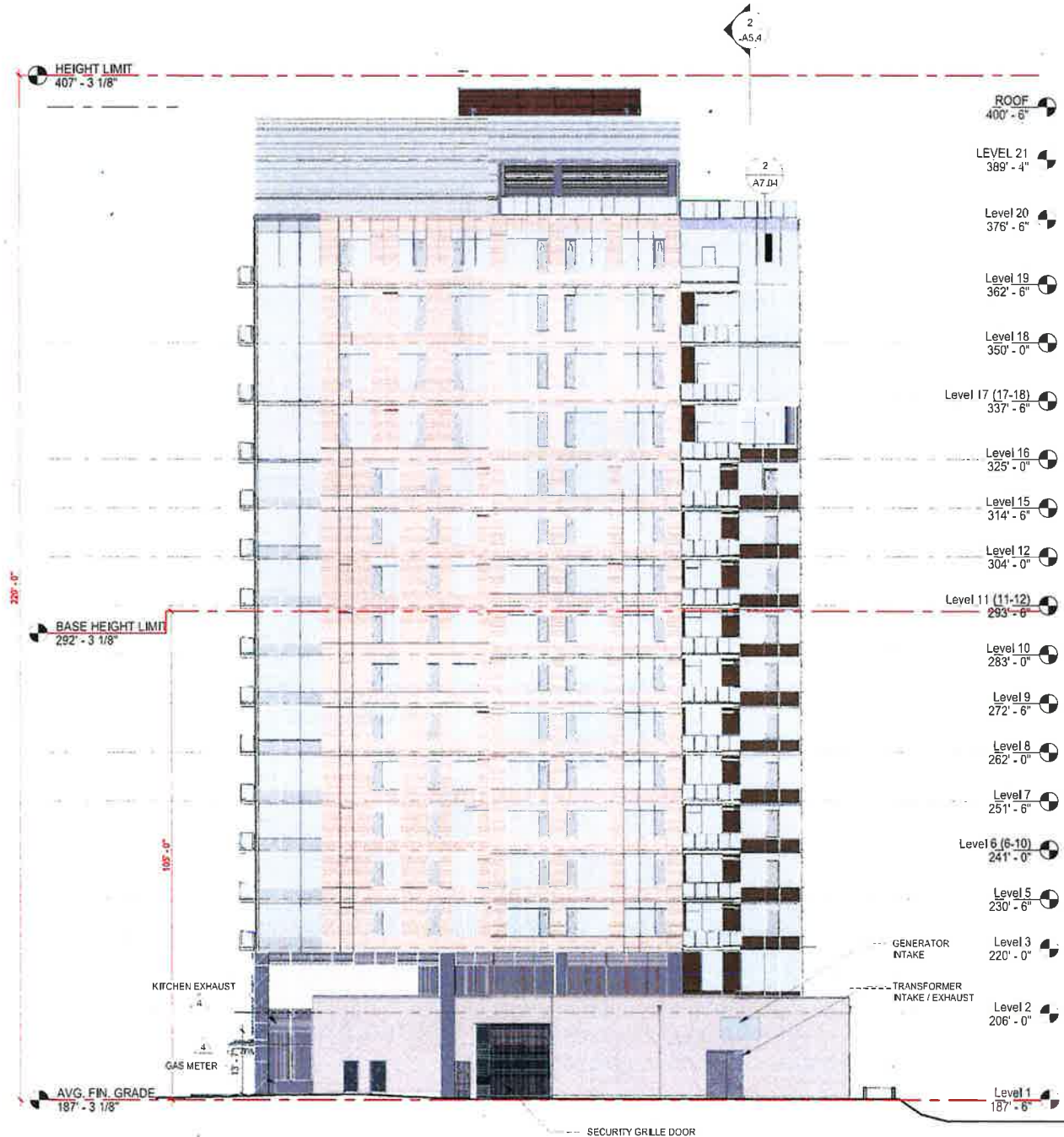
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-A5.1

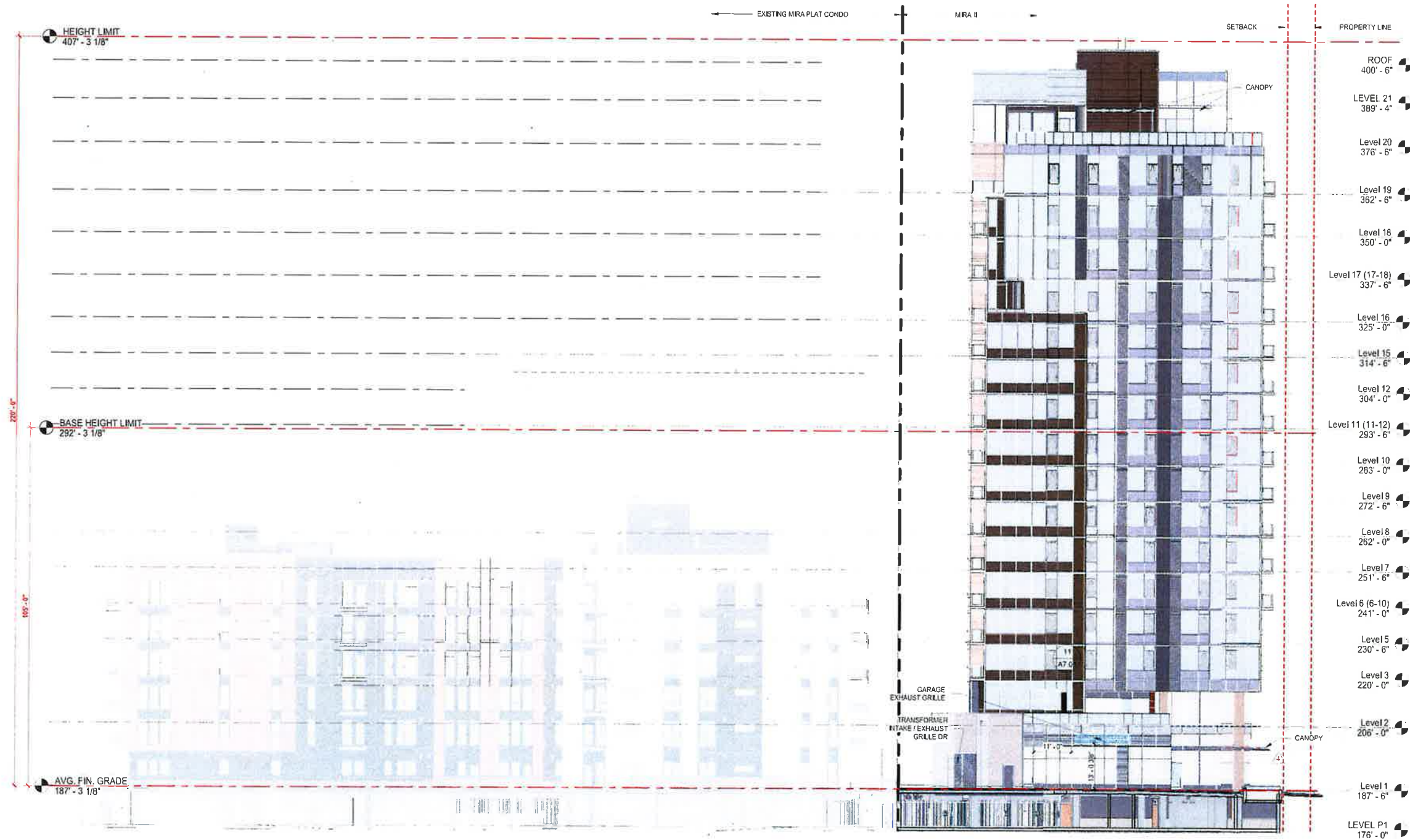
REVISION NO.



1 SOUTH ELEVATION  
1/16" = 1'-0"



2 NORTH ELEVATION  
1/16" = 1'-0"



1 WEST ELEVATION  
1/16" = 1'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC

325 118th Ave, SE, Suite 101  
Bellevue, WA 98003

NO.

DESCRIPTION

DATE

4

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03/11/19

2

MDP Rev#2 Submission

09/07/18

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 10th Ave, N.E., Suite 108  
Bellevue, WA 98004  
T 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 318 STEWART STREET SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 318 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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N

DRAWING TITLE

-ELEVATIONS

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1/16" = 1'-0"

DATE

04/26/19

PROJECT NO.

16-023

DRAWING NO.

-A5.2

REVISION NO.



1 EAST ELEVATION  
1/16" = 1'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shinlex Global Investment  
Holdings, LLC325 119th Ave. SE, Suite 101  
Bellevue, WA 98005

6 ADR Rev#3 Submission

04/26/19

NO. Description

Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA

600 108th Ave. N.E., Suite 108  
Bellevue, WA 98004  
T: 206-539-7988

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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NORTH ARROW



DRAWING TITLE

-ELEVATIONS

DRAWN

CHECKED

SCALE @ ARCH E

1/16" = 1'-0"

DATE

04/26/19

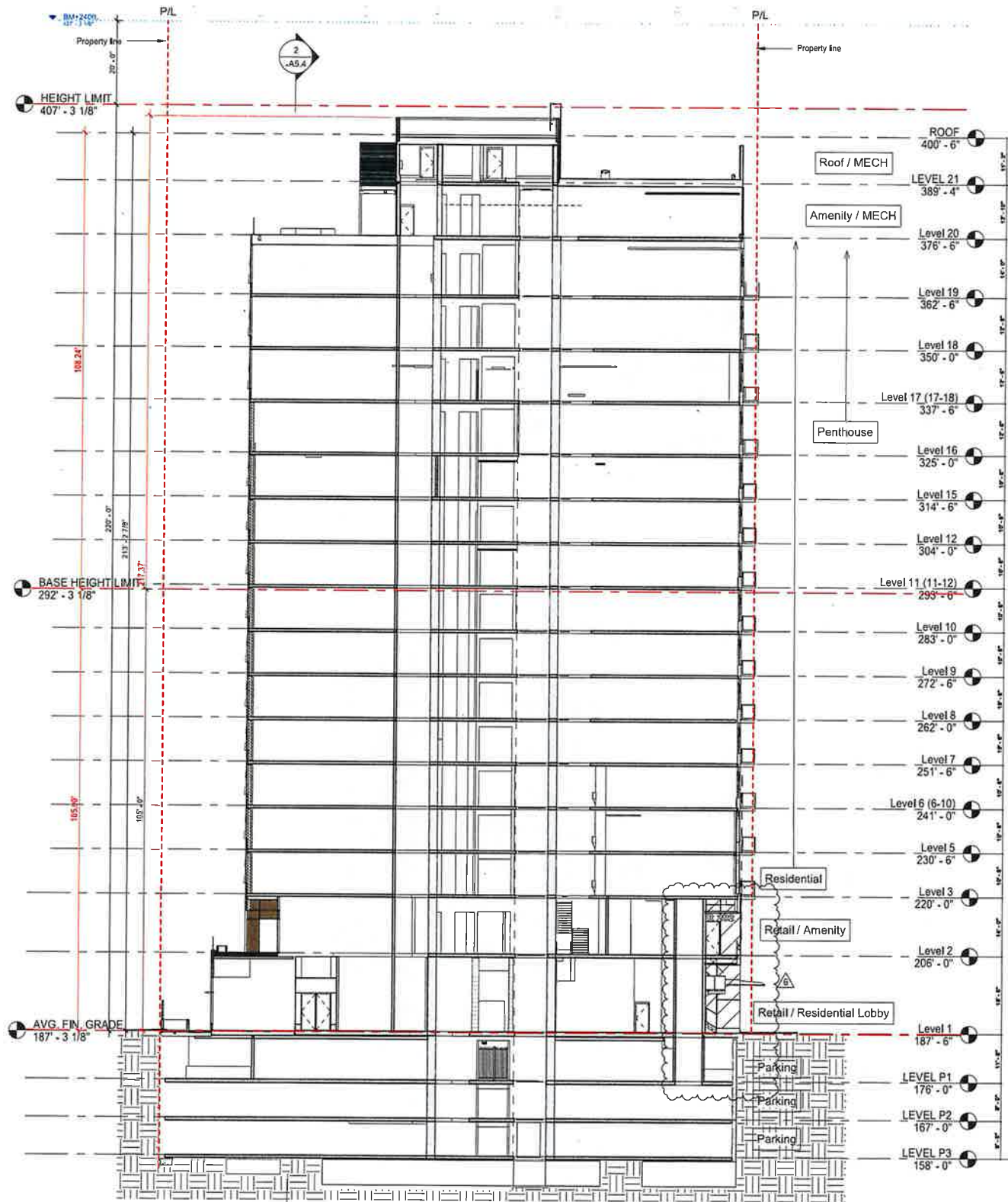
PROJECT NO.

16-023

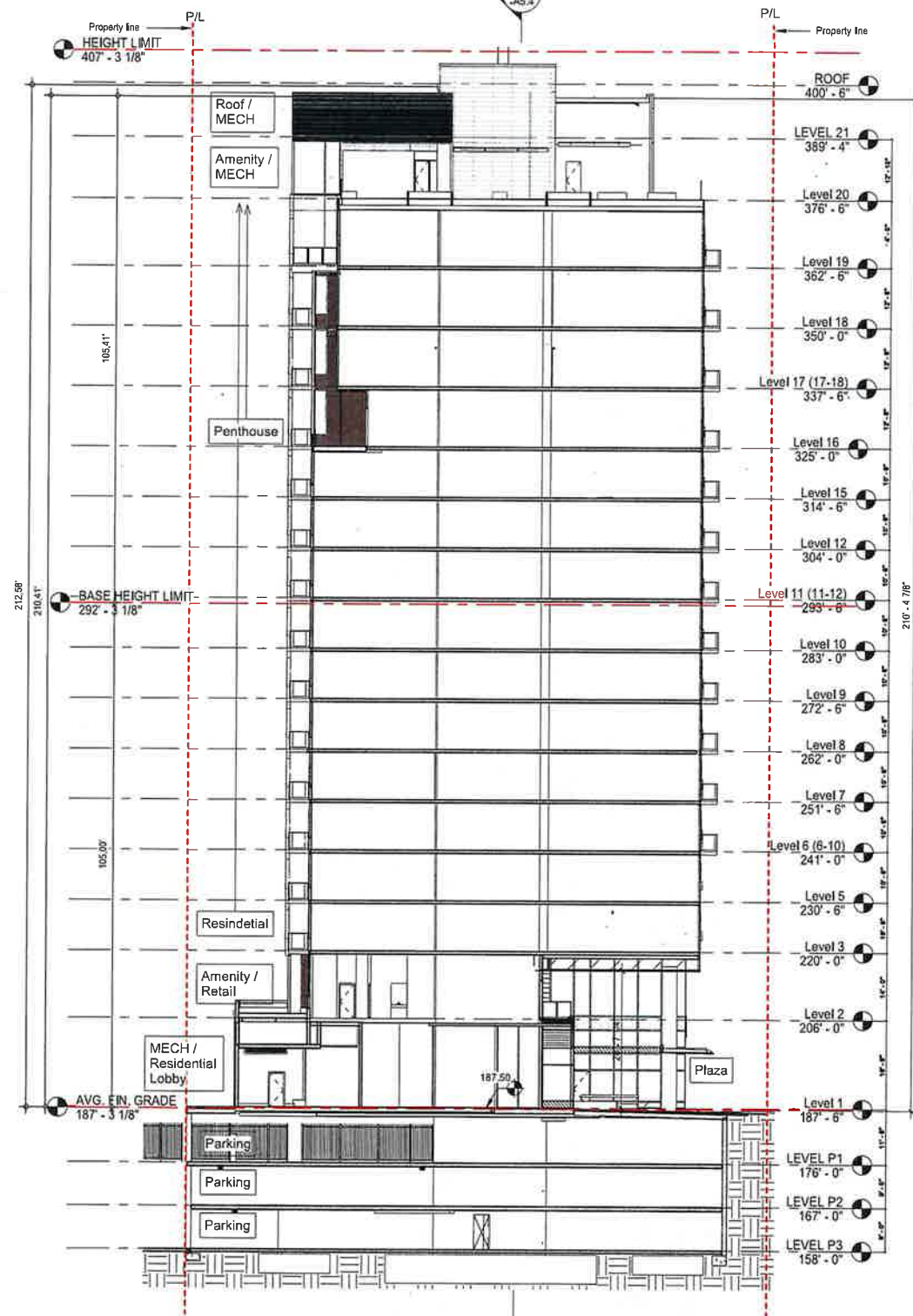
DRAWING NO.

-A5.3

REVISION NO.

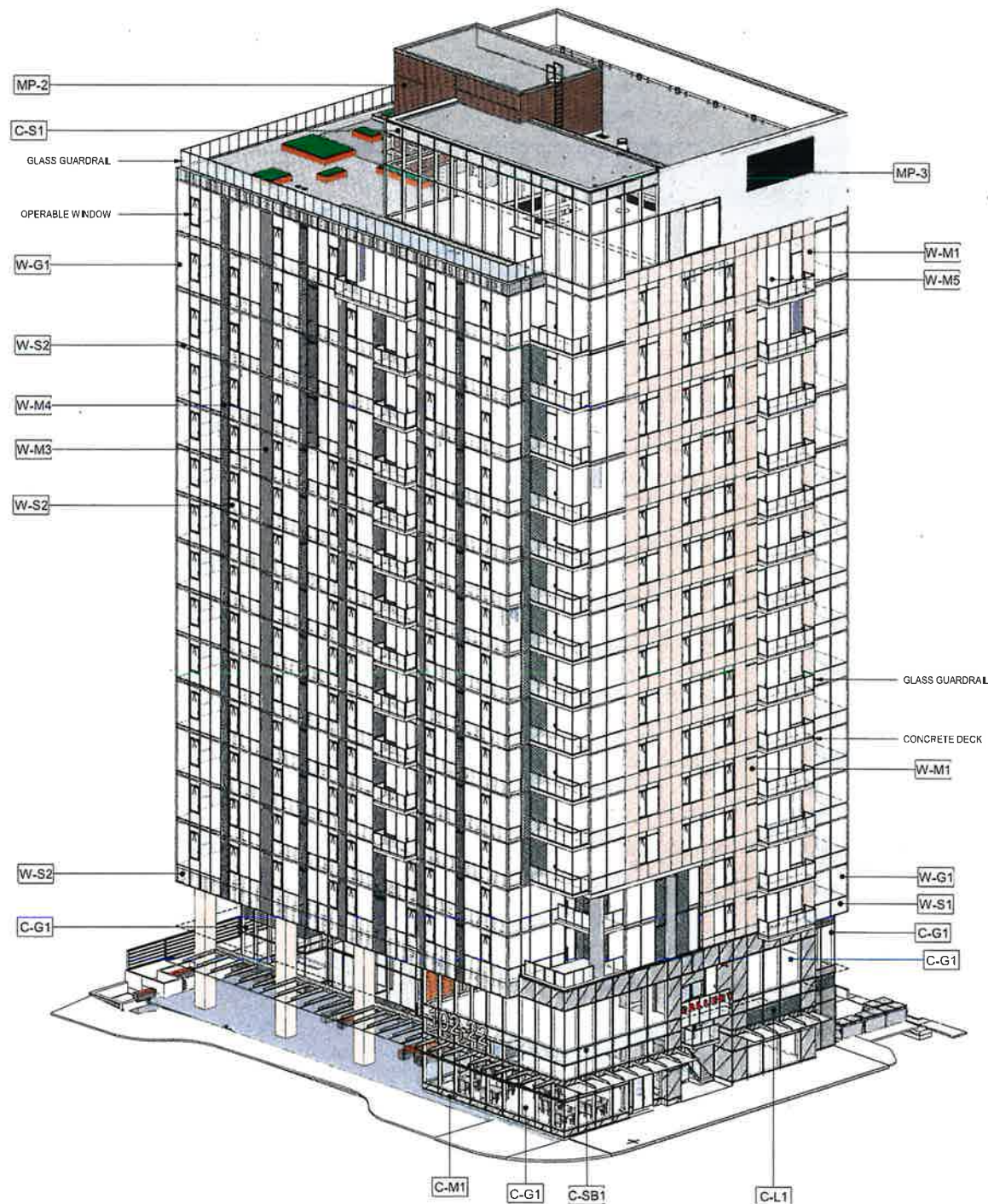


1 SECTION A  
1/16" = 1'-0"

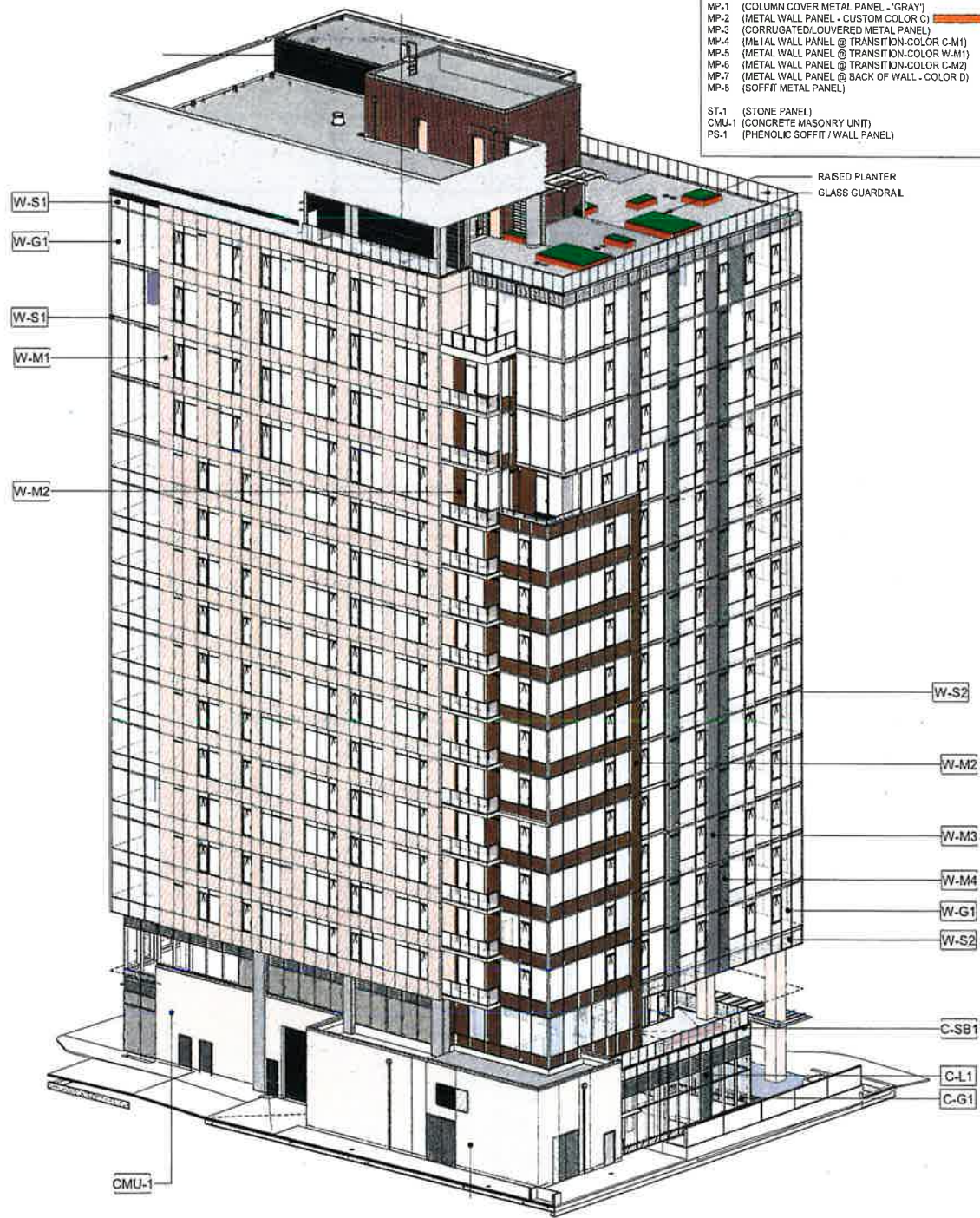


2 SECTION B  
1/16" = 1'-0"

|   |  |
|---|--|
| PROJECT NAME  |  |
| MIRA II   |  |
| PROJECT ADDRESS   |  |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |  |
| CLIENT  |  |
| Shinlex Global Investment Holdings, LLC   | 325 118th Ave. SE Suite 101<br>Bellevue, WA 98005                    |
| CONSULTANTS   |  |
| ARCHITECT   |  |
| MZA   | 600 108th Ave. NE Suite 108<br>Bellevue, WA 98004<br>T: 425-559-7888 |
| STRUCTURAL ENGINEER   |  |
| DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |  |
| CIVIL ENGINEER  |  |
| DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |  |
| DRAWING STATUS  |  |
| ADR / MDP REV#3 SUBMISSION  |  |
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| STAMP   | NORTH ARROW  |
|   | N  |
| DRAWING TITLE   |  |
| -SECTIONS   |  |
| DRAWN   | CHECKED  |
| SCALE @ ARCH E<br>1/16" = 1'-0"   | DATE<br>04/26/19   |
| PROJECT NO.<br>16-023   |  |
| DRAWING NO.<br>-A5.4  | REVISION NO.   |



② -3D Ortho\_SE VIEW



① -3D Ortho\_NW VIEW

## MATERIAL KEY LEGEND

|       |  |
|-------|--|
| CW-1  | (CURTAIN WALL SYSTEM)                            |
| WW-1  | (WINDOW WALL SYSTEM - TOWER)                     |
| W-G1  | (VISION GLASS)                                   |
| W-G2  | (VISION GLASS - OPERABLE)                        |
| W-S1  | (GLASS SPANDREL - GRAY)                          |
| W-S2  | (GLASS SPANDREL - BLUE GRAY)                     |
| GL-1  | (GLASS CANOPY @ L1)                              |
| GL-2  | (GLASS CANOPY @ L20)                             |
| C-G1  | (CW VISION GLASS)                                |
| C-S1  | (CW GLASS SPANDREL)                              |
| C-L1  | (LOUVERED CW PANEL)                              |
| C-SB1 | (CW SHADOW BOX)                                  |
| C-M1  | (CW METAL PANEL - CUSTOM COLOR A)                |
| C-M2  | (CW METAL PANEL - CUSTOM COLOR B)                |
| W-M1  | (METAL WW PANEL - 'TERRA COTTA' TOP HAT)         |
| W-M2  | (METAL WW PANEL - 'BROWN')                       |
| W-M3  | (METAL WW PANEL - 'DARK GRAY')                   |
| W-M4  | (METAL WW PANEL - 'LIGHT GRAY')                  |
| W-M5  | (METAL WW PANEL - COLOR MATCH WW SPANDREL GLASS) |
| MP-1  | (COLUMN COVER METAL PANEL - 'GRAY')              |
| MP-2  | (METAL WALL PANEL - CUSTOM COLOR C)              |
| MP-3  | (CORRUGATED/LOUVERED METAL PANEL)                |
| MP-4  | (METAL WALL PANEL @ TRANSITION-COLOR C-M1)       |
| MP-5  | (METAL WALL PANEL @ TRANSITION-COLOR W-M1)       |
| MP-6  | (METAL WALL PANEL @ TRANSITION-COLOR C-M2)       |
| MP-7  | (METAL WALL PANEL @ BACK OF WALL - COLOR D)      |
| MP-8  | (SOFFIT METAL PANEL)                             |
| ST-1  | (STONE PANEL)                                    |
| CMU-1 | (CONCRETE MASONRY UNIT)                          |
| PS-1  | (PHENOLIC SOFFIT / WALL PANEL)                   |

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

NO. Description Date

REVISIONS

CONSULTANTS

ARCHITECT

MZA 600 10th Ave. N.E. Suite 108  
Bellevue, WA 98004  
T. 425-553-7688

STRUCTURAL ENGINEER

DCI ENGINEERS 816 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 816 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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3D-ISO MODEL VIEWS

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Author

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Checker

SCALE @ ARCH E

1/4" = 1'-0"

DATE

04/26/19

PROJECT NO.

16-023

DRAWING NO.

-A9.1

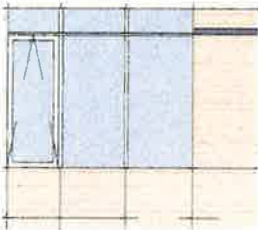
REVISION NO.

MATERIAL KEY

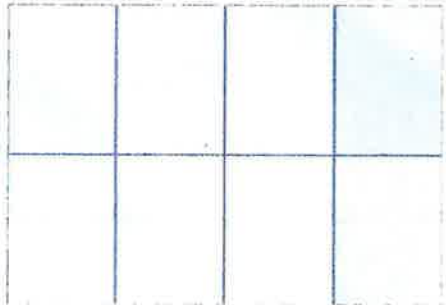
CW-1 CURTAIN WALL CLEAR GLASS



WW-1 WINDOW WALL GLASS AND METAL



GL-1 GLASS CLEAR



MP-4 METAL PANEL METAL  
COLOR: GRAY

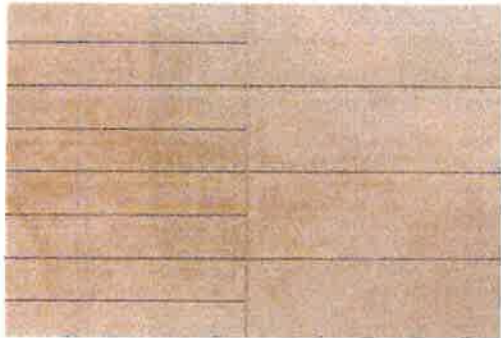


MP-3 METAL PANEL METAL  
COLOR: GRAY/BLUE OR SIM.

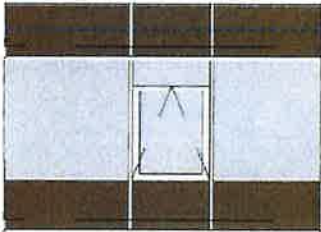


METAL PANEL

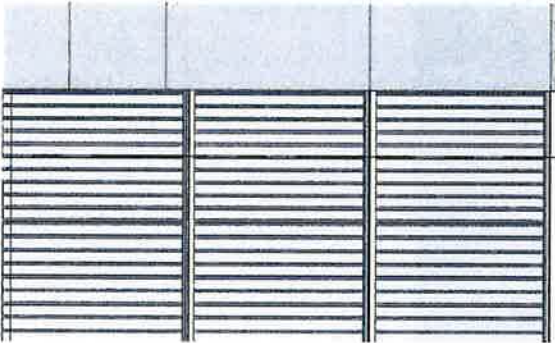
MP-1 METAL PANEL METAL  
COLOR: TERRACOTTA



WW-1 WINDOW WALL GLASS AND METAL



LOUVER METAL

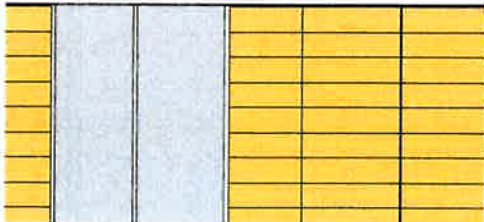


CANOPY CANOPY GLASS AND METAL



CANOPY

WD-1 WOOD PANEL WOOD



GL-2 GLASS SPANDREL



PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintex Global Investment Holdings, LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

|     |                      |          |
|-----|----------------------|----------|
| 4   | ADR Rev#2 Submission | 03/11/19 |
| 2   | MDP Rev#2 Submission | 09/07/18 |
| NO. | Description          | Date     |

REVISIONS

CONSULTANTS

ARCHITECT

M Z A 600 106th Ave. N.E. Suite 105  
Bellevue, WA 98004  
T: 425-559-7888

STRUCTURAL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER

DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

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-MATERIAL TABLE

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SCALE @ ARCH E

DATE

04/26/19

PROJECT NO.

16-023

DRAWING NO.

-A9.2

REVISION NO.



PROPOSED PROJECT

MIRADOR PHASE II

MIRADOR PHASE I  
UNDER CONSTRUCTION



MIRADOR PHASE I  
UNDER CONSTRUCTION

MIRADOR PHASE II

PROPOSED PROJECT



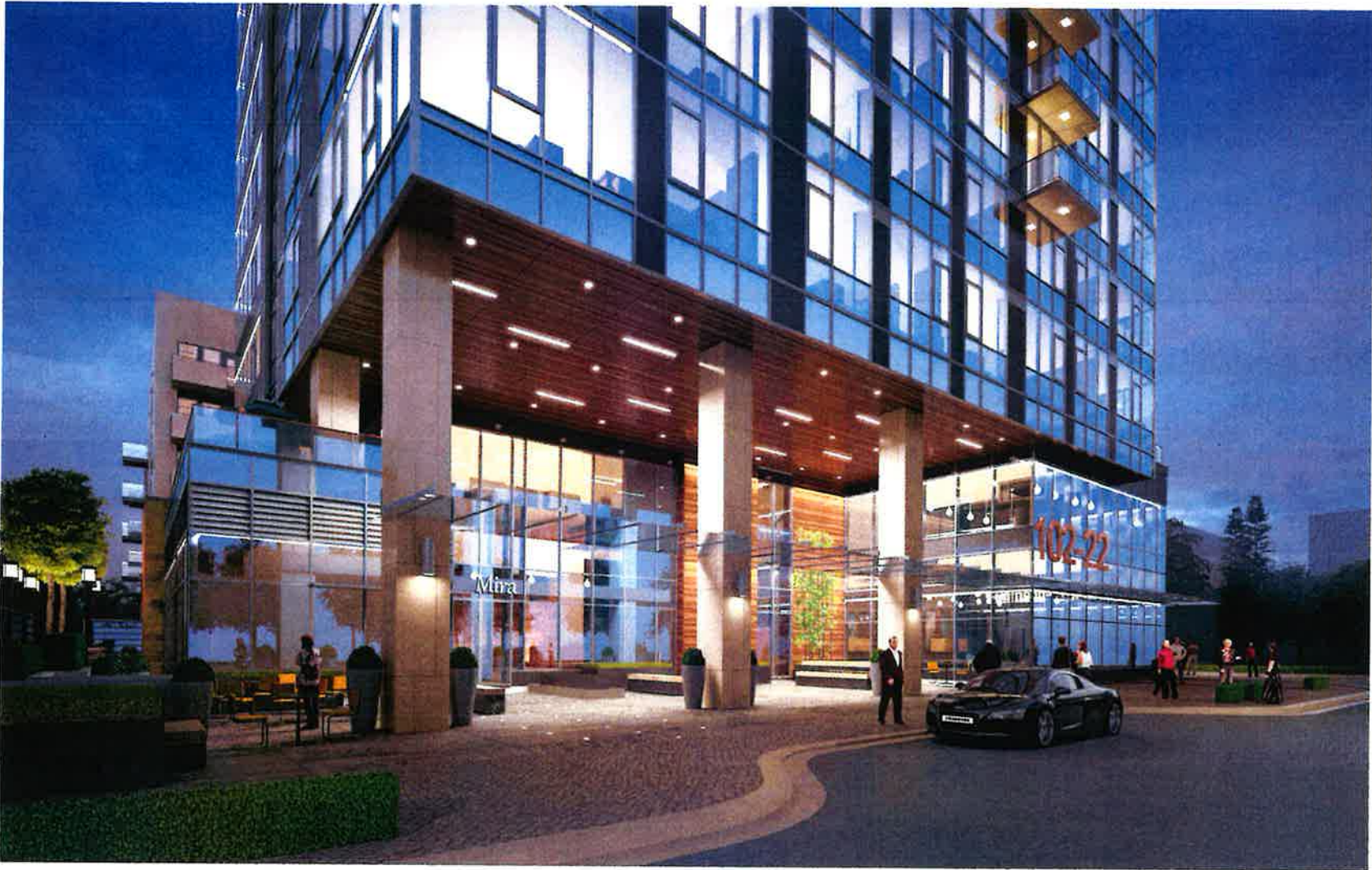
PROPOSED PROJECT  
ACROSS STREET APPROXIMATE  
MASSING FROM PRE-APPLICATION

MIRADOR PHASE II

MIRADOR PHASE I  
UNDER CONSTRUCTION



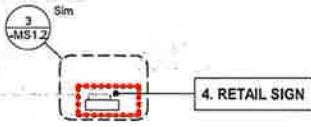
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|---|--|
| PROJECT NAME  |  |
| MIRA II   |  |
| PROJECT ADDRESS   |  |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |  |
| CLIENT  |  |
| Shintex Global Investment Holdings, LLC   | 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005                     |
| NO. Description Date  |  |
| REVISIONS   |  |
| CONSULTANTS   |  |
| ARCHITECT   |  |
| MZA   | 600 108th Ave. N.E. Suite 108<br>Bellevue, WA 98004<br>T: 425-555-7638 |
| STRUCTURAL ENGINEER   |  |
| OCTENGEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101  |  |
| CIVIL ENGINEER  |  |
| OCTENGEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101  |  |
| DRAWING STATUS  |  |
| ADR / MDP REV#3 SUBMISSION  |  |
| Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. |  |
| ALL DIMENSIONS ARE SHOWN IN IMPERIAL.   |  |
| MZA   |  |
| STAMP   | NORTH ARROW  |
|   | N  |
| DRAWING TITLE   |  |
| -BIRD'S EYE PERSPECTIVE   |  |
| DRAWN   | CHECKED  |
| SCALE @ ARCH E  | DATE   |
|   | 04/26/19   |
| PROJECT NO.   | 16-023   |
| DRAWING NO.   | REVISION NO.   |
| -A9.3   |  |



|   |  |
|---|--|
| PROJECT NAME  |  |
| MIRA II   |  |
| PROJECT ADDRESS   |  |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |  |
| CLIENT  |  |
| Shinlex Global Investment Holdings, LLC   | 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005                     |
| NO. Description Date  |  |
| REVISIONS   |  |
| CONSULTANTS   |  |
| ARCHITECT   |  |
| MZA   | 600 108th Ave. N.E. Suite 108<br>Bellevue, WA 98004<br>T: 425-559-7889 |
| STRUCTURAL ENGINEER   |  |
| DCT ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |  |
| CIVIL ENGINEER  |  |
| DCT ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |  |
| DRAWING STATUS  |  |
| ADR / MDP REV#3 SUBMISSION  |  |
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| ALL DIMENSIONS ARE SHOWN IN IMPERIAL.   |  |
| MZA   |  |
| NORTH ARROW   |  |
| N   |  |
| DRAWING TITLE   |  |
| EYE LEVEL PERSPECTIVE   |  |
| DRAWN   | CHECKED  |
| Author  | Checker  |
| SCALE @ ARCH E  | DATE   |
|   | 04/26/19   |
| PROJECT NO.   |  |
| 16-023  |  |
| DRAWING NO.   | REVISION NO.   |
| -A9.4   |  |



1 SOUTH ELEVATION SIGN PLAN  
1/16" = 1'-0"



2 NORTH ELEVATION SIGN PLAN  
1/16" = 1'-0"

PROJECT NAME

MIRA II

PROJECT ADDRESS

10232 NE 10TH STREET  
BELLEVUE, WA 98004

CLIENT

Shintax Global Investment Holdings, LLC 325 118th Ave. SE, Suite 101  
Bellevue, WA 98005

|     |                         |          |
|-----|-------------------------|----------|
| 4   | ADR Rev#2 Submission    | 03/11/19 |
| 1   | MDP Revision Submission | 08/17/18 |
| NO. | Description             | Date     |

REVISIONS

CONSULTANTS

ARCHITECT  
MZA 600 108th Ave. N.E., Suite 108  
Bellevue, WA 98004  
T: 425-559-7885

STRUCTURAL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

CIVIL ENGINEER  
DCI ENGINEERS 818 STEWART STREET, SUITE 1000  
SEATTLE, WA 98101

DRAWING STATUS

ADR / MDP REV#3 SUBMISSION

Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.



STAMP

NORTH ARROW



DRAWING TITLE

-MASTER SIGN PLAN

DRAWN

CHECKED

SCALE @ ARCH E

1/16" = 1'-0" DATE 04/26/19

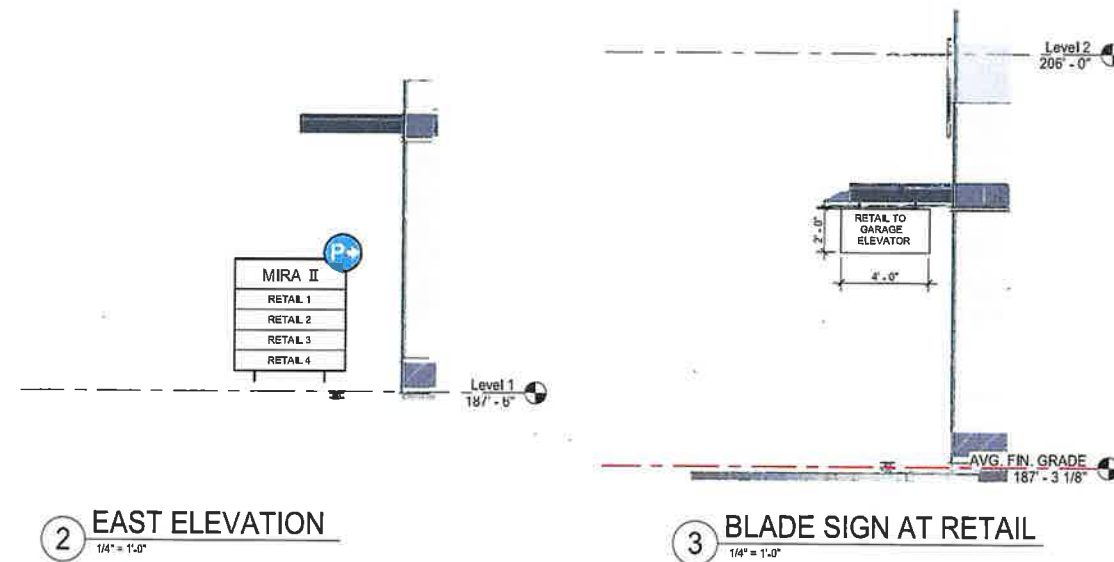
PROJECT NO.

16-023

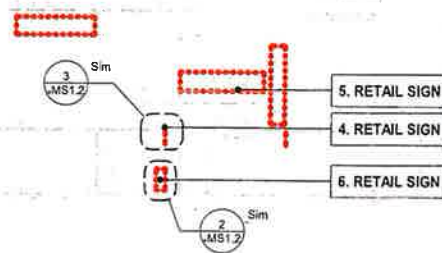
DRAWING NO.

REVISION NO.

-MS1.1



|   |  |
|---|--|
| PROJECT NAME  |  |
| MIRA II   |  |
| PROJECT ADDRESS   |  |
| 10232 NE 10TH STREET<br>BELLEVUE, WA 98004  |  |
| CLIENT  | 325 118th Ave. SE, Suite 101<br>Bellevue, WA 98005                     |
| Shinlex Global Investment Holdings, LLC   |  |
| 1 MDP Revision Submission 08/17/18  |  |
| NO.   | Date   |
| REVISIONS   |  |
| CONSULTANTS   |  |
| ARCHITECT   | 600 108th Ave. N.E. Suite 108<br>Bellevue, WA 98004<br>T: 425-559-7888 |
| STRUCTURAL ENGINEER<br>DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101  |  |
| CIVIL ENGINEER<br>DCI ENGINEERS 818 STEWART STREET, SUITE 1000<br>SEATTLE, WA 98101   |  |
| DRAWING STATUS  |  |
| ADR / MDP REV#3 SUBMISSION  |  |
| Discrepancies must be reported to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. |  |
| ALL DIMENSIONS ARE SHOWN IN IMPERIAL.   |  |
| M Z A   |  |
| STAMP   | NORTH ARROW  |
|   | N  |
| DRAWING TITLE   |  |
| -MASTER SIGN PLAN   |  |
| DRAWN   | CHECKED  |
| SCALE @ ARCH E<br>As Indicated  | DATE<br>04/26/19   |
| PROJECT NO.<br>16-023   |  |
| DRAWING NO.<br>-MS1.2   | REVISION NO.   |



1. FURNISH ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB REQUIREMENTS. VERIFY FIXTURE MOUNTING, LOCATION AND FIXED OPTICAL ORIENTATION AGAINST ARCHITECT'S PLANS, ELEVATIONS AND DETAIL DRAWINGS. EXACT LOCATION OF ALL FIXTURES SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO ROUGHING IN.

2. FIXTURES SHOWN IN CONTINUOUS RUNS TO SATISFY NOMINAL LENGTHS AS SHOWN ON THE DRAWINGS. FIXTURE TAGS SHOWN ON OR A CONTINUOUS ROW OF FIXTURES SHALL BE TYPICAL FOR THAT ROW UNLESS OTHERWISE NOTED.

3. ALL FIXTURES WILL BE SUPPORTED FROM THE BUILDING STRUCTURE, INDEPENDENT OF HUNG CABLES WITH ROD OR JACK CHAIN SUPPORT, AIRCRAFT CABLE LENGTHS, STEM LENGTHS, STEM FINISHES AND STEM LOCATIONS OF ALL PENDANT FIXTURES TO BE PROVIDED AND CONFIRMED BY OWNER, ARCHITECT AND CONSULTANT PRIOR TO ORDERING STEMS. AIRCRAFT CABLE HUNG FIXTURES TO BE PROVIDED WITH 18" OF EXTRA LENGTH WITH EXCESS TO BE LOCATED ABOVE THE CEILING ALONG WITH 18" OF EXTRA POWER CORD LENGTH.

4. LINEAR FLUORESCENT LAMPS WILL USE PROGRAM START BALLASTS UNLESS OTHERWISE NOTED. DIMMABLE BALLASTS SHALL BE COMPATIBLE WITH LAMPS AND DIMMER/CONTROL SYSTEM.

5. ALL LIGHT FIXTURES ARE TO BE PROVIDED BY SPECIFIED MANUFACTURER OR APPROVED EQUIV. "ALTERNATE MANUFACTURER" AND "OR APPROVED" MEAN EQUIVALENT OR SUPERIOR IN PERFORMANCE. MATERIALS, WORKMANSHIP AND APPEARANCE TO THE SPECIFIED EQUIPMENT SHALL BE AS GOOD AS NEW.

6. CONTRACTOR TO PROVIDE AND INSTALL ALL TRANSFORMERS, DRIVERS, BATTERY PACKS AND/OR BALLASTS REQUIRED TO OPERATE LAMPS SPECIFIED. INCLUDING REMOTE POWER SUPPLIES AND THE ENCLOSURES FOR SAME. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF COMPATIBILITY BETWEEN SPECIFIED LAMPS, SPECIFIED POWER SUPPLIES, DIMMING AND OTHER CONTROL DEVICES SPECIFIED. NOTIFY ARCHITECT AND CONSULTANT OF ANY INCOMPATIBILITY PRIOR TO ORDERING EQUIPMENT.

7. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE COORDINATION OF ALL LIGHTING EQUIPMENT AND CONTROL DEVICES WITH CEILING, WALL AND GROUND TYPES SPECIFIED PRIOR TO ORDERING LIGHTING EQUIPMENT. NOTIFY ARCHITECT AND CONSULTANT OF ANY INCOMPATIBILITY PRIOR TO ORDERING EQUIPMENT.

8. ALL FIXTURES TO BE PROVIDED WITH A COLOR TEMPERATURE 3500K UNLESS OTHERWISE NOTED. ALL INTERIOR LIGHT SOURCES TO BE 50 CRI OR HIGHER. ALL LED LUMINAIRES TO HAVE A LIFE RATING OF 50,000 HOURS OR HIGHER AT L70 OR BETTER AND A FIVE YEAR WARRANTY.

9. PRELIMINARY AMOUNT OF ALL ADJUSTABLE LIGHTING EQUIPMENT WILL BE DONE DURING INSTALLATION BY THE ELECTRICAL CONTRACTOR AS INDICATED ON THE LIGHTING PLANS / LAYOUT DIAGRAM, WHERE SUCH A DIAGRAM IS INCLUDED IN CONTRACT DOCUMENTS OR AS AN ADDENDUM. FINAL AMOUNT OF ALL ADJUSTABLE LIGHTING EQUIPMENT WILL BE DONE BY THE ELECTRICAL CONTRACTOR AS DIRECTED BY THE ARCHITECT/OWNER OR AS A SEPARATE SERVICE BY CONSULTANT.

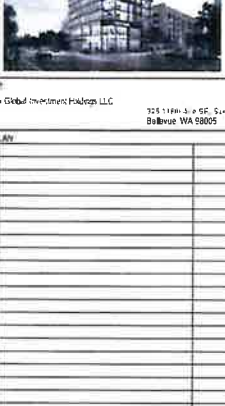



10. IN ALL FIXTURES WITH ADJUSTABLE SOCKETS, SET SOCKETS DURING INSTALLATION TO LOCATE SPECIFIED LAMP IN CORRECT RELATIONSHIP TO REFLECTOR AS RECOMMENDED BY FIXTURE MANUFACTURER.

11. SCHEDULED LUMEN OUTPUT REPRESENTS DELIVERED LUMENS.

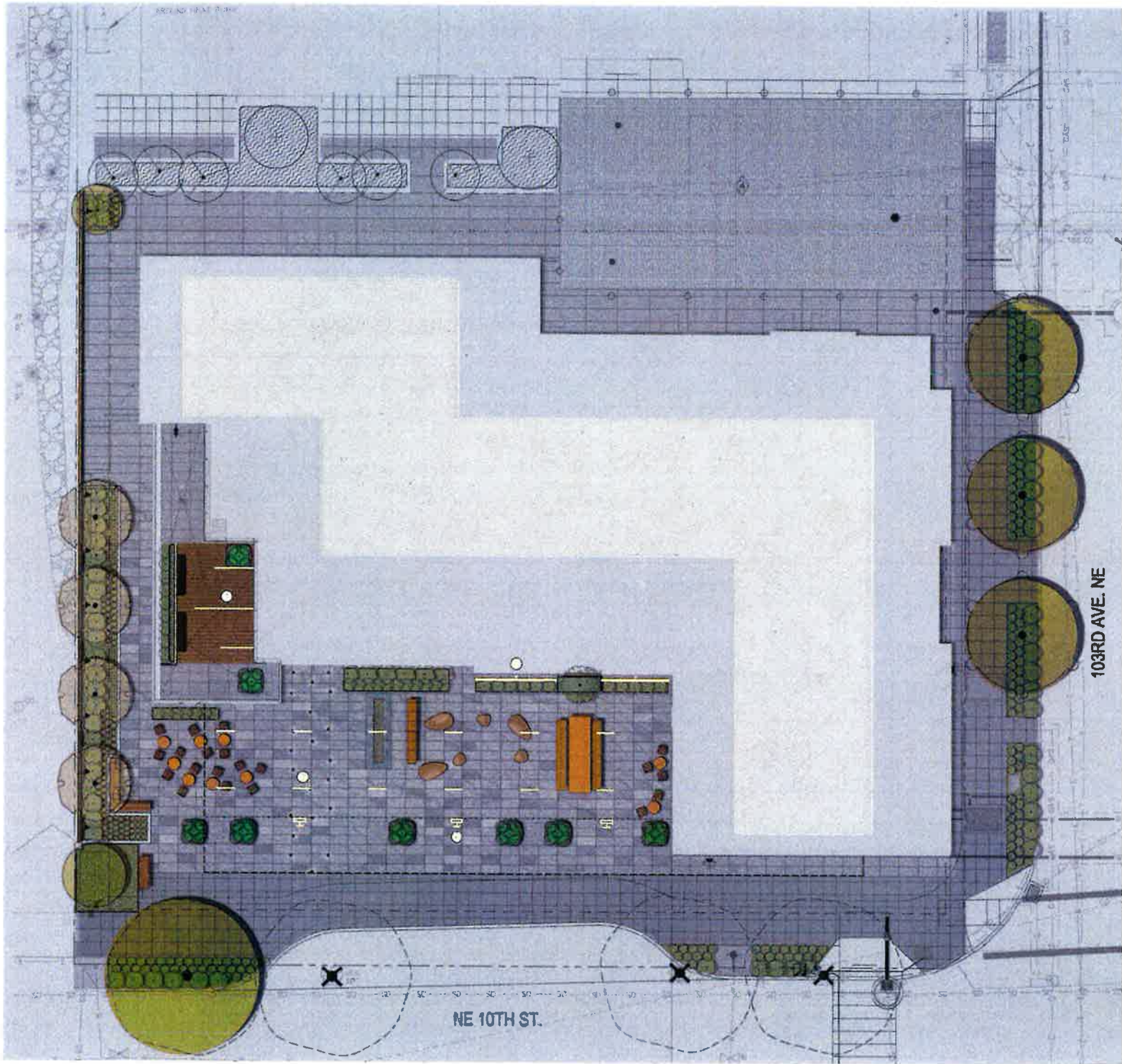
[illegible]

- 
- NE 10TH ST.
- 103RD AVE. NE

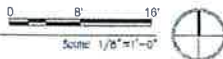
1. TYPE SKI TO BE MOUNTED IN C-CHANNEL AND EXTEND VERTICALLY TO TOP OF BUILDING. TO BE COORDINATED WITH ARCHITECTURAL DETAILS.

|   |  |
|---|--|
| <b>PROJECT</b><br><b>MIRA II</b>  |  |
|    |  |
| <b>CLIENT</b><br>Shuster Global Investments Holdings LLC  | 725 11th St. S.E. Suite 101<br>Bellevue WA 98005 |
| <b>KEY PLAN</b>   |  |
| Empty space for key plan  |  |
| <b>NO</b> <b>ISSUED</b><br>_____<br>REVISIONS   | <b>DATE</b><br>_____                             |
| <b>CONSULTANTS</b>  |  |
| <b>REGIONAL ARCHITECT</b><br><div style="display: flex; justify-content: space-between; align-items: flex-start;"> <div style="text-align: center;">  </div> <div>             880 158th Ave NE, Suite 108<br/>             Bellevue, WA 98004<br/>             T 425 553 7888           </div> </div>   |  |
| <b>STRUCTURAL ENGINEER</b><br>DCI Engineers      818 Drexton Street, Ste 3000<br>Seattle, WA 98101<br>T 206.333.1850  |  |
| <b>MECHANICAL/ELECTRICAL/PLUMBING</b><br>GLUMAC a Telsa Tech company      1601 6th Ave, Ste 2210<br>Seattle, WA 98104<br>T 206.262.1010   |  |
| <b>INTERIOR DESIGN</b><br>Robin Cho Design      1831 15th Ave W, Ste 205<br>Seattle, WA 98119<br>T 206 750 0849   |  |
| <b>LANDSCAPE ARCHITECT</b><br>GCH      5101 22nd Ave, Northwest<br>Seattle, WA 98107<br>T 206.283-4422 F 206.285.0644   |  |
| <b>DRAWING STATUS</b><br><div style="text-align: center; font-weight: bold; font-size: 1.2em;">ADR REV#2 SUBMISSION</div>   |  |
| <p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p> <p style="text-align: center;">ALL DIMENSIONS ARE SHOWN IN IMPERIAL</p>  |  |
| <div style="text-align: center; margin-bottom: 10px;">  </div> <div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> <b>STAMP</b> </div> <div style="width: 55%; text-align: center;"> <b>NORTH ARROW</b><br/><br/>  </div> </div> |  |
| <b>DRAWING TITLE</b><br><br><div style="text-align: center; font-weight: bold; font-size: 1.2em;">LEVEL 1 PLAN - LIGHTING</div>   |  |
| Empty space for drawing content   |  |
| <b>BROWN</b>  | <b>CHECKED</b>                                   |
| <b>SCALE @ ARCH E</b><br>1/8" = 1'-0"   | <b>DATE</b><br>03/11/19                          |
| <b>PROJECT NO.</b><br><div style="text-align: center;">16-023</div>   |  |
| <b>DRAWING NO.</b><br><div style="text-align: center; font-weight: bold; font-size: 1.5em;">EL2.01</div>  | <b>REVISION NO.</b>                              |

- RECESSED LINEAR SLOT
- RECESSED LINEAR W/GLARE CONTROL
- RECESSED LINEAR WALL GRAZER
- CANOPY-MOUNT ARCHITECTURAL FLOODLIGHT



1 LEVEL 2 - LIGHTING PLAN



SHEET NOTES

KEYED NOTES

PROJECT  
MIRA II

CLIENT  
Shrinex Global Investment Holdings LLC  
1151 11th Ave SE, Suite 101  
Bellevue, WA 98005

KEY PLAN

NO. ISSUED  
REVISIONS

DATE

CONSULTANTS  
DESIGN ARCHITECT  
MZA  
800 10th Ave NE, Suite 103  
Bellevue, WA 98004  
T: 425-559-7888  
DESIGNER ENGINEER  
DC Engineer  
818 Stewart Street, Ste. 1000  
Seattle, WA 98101  
T: 206-232-1500  
MECHANICAL/ELECTRICAL/HVAC ENGINEER  
GLUMAC a Toba Tech company  
1501 5th Ave, Ste. 2210  
Seattle, WA 98101  
T: 206-232-1010  
INTERIOR DESIGN  
Rosen Chell Design  
1831 15th Ave W, Ste. 205  
Seattle, WA 98119  
T: 206-759-0649  
LANDSCAPE ARCHITECT  
GCH  
6101 22nd Ave, Northwest  
Seattle, WA 98107  
T: 206-295-4122 F: 206-295-0644

DRAWING STATUS  
ADR REV#2 SUBMISSION

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MZA  
ARCHITECTS

STAMP  
NORTH ARROW  
N

DRAWING TITLE  
LEVEL 2 PLAN - LIGHTING

DRAWN  
SCALE @ ARCHITECT  
1/8" = 1'-0"

CHECKED  
DATE  
03/11/19

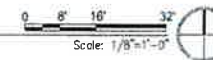
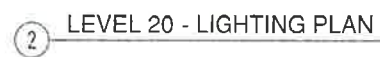
PROJECT NO.  
18-023

DRAWING NO.  
EL2.02

REVISION NO.

- ## SHEET NOTES

## KEYED NOTES



CLIENT  
Shrilex Global Investment Holdings LLC  
325 117th Ave SE, Suite 111  
Bellevue WA 98005

|          |
|----------|
| KEY PLAN |
|----------|

[illegible]

|           |        |      |
|-----------|--------|------|
| NO        | ISSUED | DATE |
| REVISIONS |        |      |

## CONSULTANTS

**GENERAL ARCHITECT**

**M Z A**

**STRUCTURAL ENGINEER**

DCI Engineers

**MECHANICAL/ELECTRICAL ENGINEER**

GLUMAC a Tetra Tech company

**INTERIOR DESIGN**

Robin Chai Design

**LANDSCAPE ARCHITECT**

QCH

600 123th Ave NE, Suite 108  
Bellevue, WA 98004  
P 425 559 7586

815 Stewart Street, Ste.1000  
Seattle, WA 98101  
T 206.332.1800

1601 15th Ave, Ste.2210  
Seattle, WA 98104  
T 206.452.0110

1531 15th Ave W Ste. 205  
Seattle, WA 98119  
T 206 765 0549

6101 27th Ave. Northwest  
Seattle, WA 98107  
P 206.765.4472 F 206.765.0641

|                |  |
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| DRAWING STATUS |  |
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STAMP

NORTH ARROW



## DRAWING TITLE

### LEVEL 20 ROOF 1 - LIGHTING

|                                |                  |
|--------------------------------|------------------|
| DRAWN                          | CHECKED          |
| SCALE @ ARCH E<br>1/8" = 1'-0" | DATE<br>03/11/19 |
| PROJECT NO.<br>16-023          |                  |
| DRAWING NO.<br><b>EL2.20</b>   | REVISION NO.     |